

ST. PETERSBURG CITY COUNCIL
Meeting of April 19, 2018

Report

TO: The Honorable Lisa Wheeler-Bowman, Chair, and Members of City Council

SUBJECT: A resolution accepting the guaranteed maximum price (“GMP”) proposal in the amount of \$15,030,610 submitted by Skanska USA Building, Inc. (“Skanska”) on April 3, 2018 for the Pier Approach Project; authorizing payment in the amount of \$121,500 to Skanska for additional preconstruction phase services related to the Doc Ford’s Restaurant, gateway entrance, playground equipment, and the Envision certification process; authorizing the City Attorney’s Office to make non-substantive changes to the First Amendment; authorizing the Mayor or his designee to execute a First Amendment to the Construction Manager at Risk Agreement with a GMP between the City of St. Petersburg, Florida, and Skanska dated January 10, 2017, (“Contract”), to incorporate the GMP proposal into the Contract, add the additional preconstruction phase services, revise the Disadvantaged Worker and Apprentices Provision to clarify good faith efforts and retainer, and modify other necessary provisions; approving a transfer in the amount of \$300,000 from the unappropriated balance of the Downtown Redevelopment District Fund (1105) to the General Capital Improvement Fund (3001) to provide funding for Unforeseen Conditions Contingency, authorizing a supplemental appropriation in the amount of \$300,000 from the increase in the unappropriated balance of the General Capital Improvement Fund (3001), resulting from the above transfer to the Pier Approach Project (15377); rescinding an unencumbered appropriation in the Neighborhood & Citywide Infrastructure Fund (3027) in the amount of \$700,000 from the Seawall Renovations & Replacement FY18 Project (16184); approving a supplemental appropriation in the amount of \$1,120,000 from the unappropriated balance of the Neighborhood & Citywide Infrastructure Fund (3027) to the Pier Approach Project (15377) for replacement of the seawall cap; acknowledging that funding for the new potable and reclaimed water mains, and sewer main have been previously appropriated in the Water Resources Capital Improvement Fund (4003); (Engineering & CID Project Nos. 09227-119 and 18234-019; Oracle Project Nos. 15377, 16031, 16345 and 16351); and providing an effective date.

EXPLANATION: The City of St. Petersburg, Florida (“City”) and Skanska USA Building, Inc. (“Skanska”) executed the Construction Manager at Risk Agreement with a Guaranteed Maximum Price (“GMP”) on January 10, 2017 (“Contract”) for Skanska to provide preconstruction and construction phase services for the Pier Approach Project. Following execution of the Contract, the City authorized Skanska to provide preconstruction phase services in an amount not to exceed \$200,000. Skanska has completed the preconstruction phase services approved to date.

The GMP Proposal is based on the following: i) the completed, architectural, landscape, civil, structural, and electrical contract drawings and project specifications as prepared by W- Architecture and Landscape Architecture, LLC; ii) a listing of clarifications, qualifications and assumptions made by Skanska in preparation of the GMP Proposal which further define the scope of the work; and iii) the anticipated schedule for the work.

At the completion of the 100% Construction Document phase, Skanska solicited competitive proposals for the work. The subtotal value of all the subcontractor bids for the completed work is \$12,344,077. In addition to the cost of the subcontracted work, the GMP Proposal includes the bonds and insurance

including Builder's Risk Insurance, the Construction Manager's General Conditions, the Construction Manager's Contingency, and the Construction Manager's overhead and fee. City's contingency for unforeseen conditions is also included in the amount of \$300,000.

The GMP for the Project includes the following:

Subcontractor Cost of the Work	\$12,344,077
General Conditions	\$805,792
Bonds, Insurance & Warranty	\$717,591
Construction Manager's Contingency	\$370,322
Construction Manager's Fee	\$492,828
CM's Final GMP Proposal	\$14,730,610
Owner's Contingency for Unforeseen Conditions	\$300,000
GMP Proposal	\$15,030,610

The Pier Approach includes all landscape, hardscape, walkways, underground utilities, stormwater facilities, parking, and access roads serving the Pier and connecting the Pier project to the downtown core at Bay Shore Drive, and the construction of an open-air market structure. Several elements have been added to the scope of work requiring funding outside of the Pier Approach. These include the replacement of the seawall cap at the north to south seawall on the east edge of the Pelican parking lot and connected to the Pier seawall and the installation of new potable and reclaim water mains and a section of sewer main serving both the Pier and Pier Approach.

Additional preconstruction services are requested to provide cost estimation, scheduling and constructability review on portions of the project that are still to be designed including the new Doc Ford's restaurant, the gateway connection to Beach Drive, and the installation of a children's playground equipment. In addition, Skanska will provide program management and technical assistance for the Envision Certification process. This will include coordinating and facilitating the compilation of documentation, providing the technical guidance, management of the online reporting system and payment of the registration and certification fees.

On August 24, 2017, City Council approved Ordinance No. 292-H adopting amendments to the Intown Redevelopment Plan (IRP) to delete reference to "mixed-use transportation facility" and reallocate its \$14,000,000 in allowable project cost that can be funded by Tax Increment Financing (TIF) such that up to \$10 million may be spent on the Enhancements to the "Municipal Pier Project" and/or "Enhancements to the Downtown Waterfront Master Plan Improvements in the Pier District". The Pinellas County Commission approved the amendments to the IRP and the Interlocal Agreement on September 14, 2017.

The \$10 million in Enhancements to the "Municipal Pier Project" and/or "Enhancements to the Downtown Waterfront Master Plan Improvements in the Pier District" included several structures, facilities and

improvements that were designed to be completed as part of the construction of the Pier Approach. This includes a category for Unforeseen Conditions Contingency. The amount being requested from the contingency category is \$300,000.

After approval by City Council the City and Skanska will execute the First Amendment to the Contract to include the GMP proposal in an amount not to exceed \$15,030,610 into the Contract, add the additional preconstruction phase services, and modify other necessary provisions.


Recommendation: Administration recommends City Council approve the attached resolution accepting the guaranteed maximum price (“GMP”) proposal in the amount of \$15,030,610 submitted by Skanska USA Building, Inc. (“Skanska”) on April 3, 2018 for the Pier Approach Project; authorizing payment in the amount of \$121,500 to Skanska for additional preconstruction phase services related to the Doc Ford’s Restaurant, gateway entrance, playground equipment, and the Envision certification process; authorizing the City Attorney’s Office to make non-substantive changes to the First Amendment; authorizing the Mayor or his designee to execute a First Amendment to the Construction Manager at Risk Agreement with a GMP between the City of St. Petersburg, Florida, and Skanska dated January 10, 2017, (“Contract”), to incorporate the GMP proposal into the Contract, add the additional preconstruction phase services, revise the Disadvantaged Worker and Apprentices Provision to clarify good faith efforts and retainer, and modify other necessary provisions; approving a transfer in the amount of \$300,000 from the unappropriated balance of the Downtown Redevelopment District Fund (1105) to the General Capital Improvement Fund (3001) to provide funding for Unforeseen Conditions Contingency, authorizing a supplemental appropriation in the amount of \$300,000 from the increase in the unappropriated balance of the General Capital Improvement Fund (3001), resulting from the above transfer to the Pier Approach Project (15377); rescinding an unencumbered appropriation in the Neighborhood & Citywide Infrastructure Fund (3027) in the amount of \$700,000 from the Seawall Renovations & Replacement FY18 Project (16184); approving a supplemental appropriation in the amount of \$1,120,000 from the unappropriated balance of the Neighborhood & Citywide Infrastructure Fund (3027) to the Pier Approach Project (15377) for replacement of the seawall cap; acknowledging that funding for the new potable and reclaimed water mains, and sewer main have been previously appropriated in the Water Resources Capital Improvement Fund (4003); (Engineering & CID Project Nos. 09227-119 and 18234-019; Oracle Project Nos. 15377, 16031, 16345 and 16351); and providing an effective date.

COST/FUNDING/ASSESSMENT INFORMATION: A portion of the funding has been previously appropriated in the Pier Approach Project (15377). Additional funds will be available after the transfer in the amount of \$300,000 from the unappropriated balance of the Downtown Redevelopment District Fund (1105) to the General Capital Improvement Fund (3001) and a supplemental appropriation in the amount of \$300,000 from the increase in the unappropriated balance of the General Capital Improvement Fund (3001), resulting from the above transfer to the Pier Approach Project (15377) for the unforeseen conditions contingency; A rescission totaling \$700,000 from the Seawall Renovations & Replacement FY18 Project (16184) and a supplemental appropriation in the amount of \$1,120,000 from the Neighborhood & Citywide


Infrastructure Fund (3027) to the Pier Approach Project (15377) for the replacement of the seawall cap at the north to south seawall on the east edge of the Pelican parking lot and connected to the Pier seawall. Funding has been previously appropriated in the Water Resources Capital Projects Fund (4003) SAN Gravity Extensions FY17 Project (16031), DIS Main Valve & Aq Repl FY18 Project (16345) and REC Main/Valve/Appurt Rep FY18 Project (16351) for the installation of the new potable and reclaimed water mains and a section of the sewer main serving the Pier and Pier Approach (Engineering & CID Project Nos. 09227-119 and 18234-019; Oracle Project Nos. 15377, 16031, 16345 and 16351).

ATTACHMENTS: Resolution
First Amendment including the
GMP Proposal submitted by Skanska on April 3, 2018

APPROVALS:




Administrative


Budget

RESOLUTION NO. 2018 - _____

A RESOLUTION ACCEPTING THE GUARANTEED MAXIMUM PRICE ("GMP") PROPOSAL IN THE AMOUNT OF \$15,030,610 SUBMITTED BY SKANSKA USA BUILDING, INC. ("SKANSKA") ON APRIL 3, 2018, FOR THE PIER APPROACH PROJECT; AUTHORIZING PAYMENT IN THE AMOUNT OF \$121,500 TO SKANSKA FOR ADDITIONAL PRECONSTRUCTION PHASE SERVICES RELATED TO THE DOC FORD'S RESTAURANT, GATEWAY ENTRANCE, PLAYGROUND EQUIPMENT, AND THE ENVISION CERTIFICATION PROCESS; AUTHORIZING THE CITY ATTORNEY'S OFFICE TO MAKE NON-SUBSTANTIVE CHANGES TO THE FIRST AMENDMENT; AUTHORIZING THE MAYOR OR HIS DESIGNEE TO EXECUTE THE FIRST AMENDMENT TO THE CONSTRUCTION MANAGER AT RISK AGREEMENT WITH A GMP BETWEEN THE CITY OF ST. PETERSBURG, FLORIDA, AND SKANSKA DATED JANUARY 10, 2017, ("CONTRACT"), TO INCORPORATE THE GMP PROPOSAL INTO THE CONTRACT, ADD THE ADDITIONAL PRECONSTRUCTION PHASE SERVICES, REVISE THE DISADVANTAGED WORKER AND APPRENTICES PROVISION TO CLARIFY GOOD FAITH EFFORTS AND RETAINER, AND MODIFY OTHER NECESSARY PROVISIONS; APPROVING A TRANSFER IN THE AMOUNT OF \$300,000 FROM THE UNAPPROPRIATED BALANCE OF THE DOWNTOWN REDEVELOPMENT DISTRICT FUND (1105) TO THE GENERAL CAPITAL IMPROVEMENT FUND (3001) TO PROVIDE FUNDING FOR UNFORESEEN CONDITIONS CONTINGENCY; AUTHORIZING A SUPPLEMENTAL APPROPRIATION IN THE AMOUNT OF \$300,000 FROM THE INCREASE IN THE UNAPPROPRIATED BALANCE OF THE GENERAL CAPITAL IMPROVEMENT FUND (3001), RESULTING FROM THE ABOVE TRANSFER TO THE PIER APPROACH PROJECT (15377); RESCINDING AN UNENCUMBERED APPROPRIATION IN THE NEIGHBORHOOD & CITYWIDE INFRASTRUCTURE FUND (3027) IN THE AMOUNT OF \$700,000 FROM THE SEAWALL RENOVATIONS & REPLACEMENT FY18 PROJECT (16184); APPROVING A SUPPLEMENTAL APPROPRIATION IN THE AMOUNT OF \$1,120,000 FROM THE UNAPPROPRIATED BALANCE OF THE NEIGHBORHOOD & CITYWIDE INFRASTRUCTURE FUND (3027) TO THE PIER APPROACH PROJECT (15377) FOR REPLACEMENT OF THE SEAWALL CAP; ACKNOWLEDGING THAT FUNDING FOR THE NEW POTABLE AND RECLAIMED WATER MAINS, AND SEWER MAIN HAVE BEEN PREVIOUSLY APPROPRIATED IN THE WATER RESOURCES CAPITAL IMPROVEMENT FUND (4003) (ENGINEERING & CID PROJECT NOS. 09227-119 AND 18234-019; ORACLE PROJECT NOS. 15377, 16031, 16345 AND 16351); AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the City of St. Petersburg, Florida ("City") and Skanska USA Building, Inc. ("Construction Manager") entered into a Construction Manager at Risk Agreement with a Guaranteed Maximum Price on January 10, 2017 ("Contract"), for Construction Manager to provide preconstruction and construction phase services for the Pier Approach Project; and

WHEREAS, following execution of the Contract, the City authorized the Construction Manager to provide the preconstruction phase services in an amount not to exceed \$200,000; and

WHEREAS, in accordance with the Contract requirements, Construction Manager submitted the Guaranteed Maximum Price ("GMP") Proposal in an amount not to exceed \$15,030,610 to the City for review and acceptance; and

WHEREAS, the Owner desires for Construction Manager to provide additional preconstruction phase services related to the Doc Ford's Restaurant, gateway entrance, playground equipment, and the Envision certification process; and

WHEREAS, the City desires to amend the Contract with Construction Manager to incorporate the GMP Proposal in an amount not to exceed \$15,030,610 dated April 3, 2018, into the Contract, add additional preconstruction phase services, revise the disadvantaged worker and apprentices provision to clarify good faith efforts and retainer, and modify other necessary provisions; and

WHEREAS, funding for the GMP Proposal in an amount not to exceed \$15,030,610 will be available after (i) a transfer of \$300,000 from Downtown Redevelopment District Fund (1105) to General Capital Improvement Fund (3001) and a supplemental appropriation from the increase in the unappropriated balance of General Capital Improvement Fund resulting from the above transfer to the Pier Approach Project (15377), (ii) rescinding an unencumbered appropriation in the amount of \$700,000 in the Neighborhood & Citywide Infrastructure Fund (3027), Seawall Renovations & Replacement FY18 Project (16184), and (iii) a supplemental appropriation in the amount of \$1,120,000 from the unappropriated balance of Neighborhood & Citywide Infrastructure Fund (3027) to the Pier Approach Project (15377); and

WHEREAS, funding for the new potable and reclaimed water mains, and sewer main have been previously appropriated in the Water Resources Capital Improvement Fund (4003); and

WHEREAS, Administration recommends approval of this resolution.

NOW THEREFORE, BE IT RESOLVED by the City Council of the City of St. Petersburg, Florida, that the Guaranteed Maximum Price ("GMP") proposal in the amount of \$15,030,610 submitted by Skanska USA Building, Inc. ("Skanska") on April 3, 2018, is hereby accepted.

BE IT FURTHER RESOLVED that payment in the amount of \$121,500 to Skanska for additional preconstruction phase services related to the Doc Ford's Restaurant, gateway entrance, playground equipment, and Envision Certification process is hereby authorized.

BE IT FURTHER RESOLVED that the City Attorney's Office is authorized to make non-substantive changes to the First Amendment to correct typographical errors and clarify provisions of the First Amendment to conform to City Council's direction.

BE IT FURTHER RESOLVED that the Mayor or his designee to execute the First Amendment to the Construction Manager at Risk Agreement with a GMP between the City of St. Petersburg, Florida, and Skanska dated January 10, 2017, ("Contract"), to incorporate the GMP proposal into the Contract, add the additional preconstruction phase services, revise the disadvantaged worker and apprentices provision to clarify good faith efforts and retainer, and modify other necessary provisions.

BE IT FURTHER RESOLVED that there is hereby approved the following transfer for FY18:

Downtown Redevelopment District Fund (1105)

Transfer to: General Capital Improvement Fund (3001)	\$300,000
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BE IT FURTHER RESOLVED that there is hereby approved from the increase in the unappropriated balance of the General Capital Improvement Fund (3001), resulting from the above transfer, the following supplemental appropriation for FY18:

General Capital Improvement Fund (3001)

Pier Approach Project (15377)

\$300,000

BE IT FURTHER RESOLVED that the appropriation in the amount of \$700,000 in the Neighborhood & Citywide Infrastructure Fund (3027), Seawall Renovations & Replacement FY18 Project (16184) is hereby rescinded.

BE IT FURTHER RESOLVED that there is hereby approved from the increase in the unappropriated balance of the Neighborhood & Citywide Infrastructure Fund (3027), the following supplemental appropriation for FY18:

Neighborhood & Citywide Infrastructure Fund (3027)

Pier Approach Project (15377)

\$1,120,000

BE IT FURTHER RESOLVED that this Council hereby acknowledges that funding for the new potable and reclaimed water mains, and sewer main have been previously appropriated in the Water Resources Capital Improvement Fund (4003).

This resolution shall become effective immediately upon its adoption.

Approvals:



City Attorney (Designee)



Brejesh Prayman, P.E., ENV SP
Engineering and Capital Improvements
Director



Budget

370138 FINAL 4-19-18 Meeting

FIRST AMENDMENT
Including the Guaranteed Maximum Price Amendment

THIS FIRST AMENDMENT ("First Amendment") is made and entered into on this ____ day of April, 2018, by and between the City of St. Petersburg, Florida ("City" or "Owner") and Skanska USA Building Inc. ("Construction Manager" or "Contractor").

WHEREAS, the Owner and the Construction Manager entered into a Construction Manager at Risk Agreement with a Guaranteed Maximum Price on January 10, 2017 ("Contract"), for Construction Manager to provide preconstruction and construction phase services for the Pier Approach Project; and

WHEREAS, following execution of the Contract, the Owner authorized the Construction Manager to provide the preconstruction phase services in an amount not to exceed \$200,000; and

WHEREAS, in accordance with the Contract requirements, Construction Manager submitted the Guaranteed Maximum Price ("GMP") Proposal in an amount not to exceed \$15,030,610 to the Owner for review and acceptance; and

WHEREAS, the Owner desires for Construction Manager to provide additional preconstruction phase services related to the Doc Ford's Restaurant, gateway entrance, playground equipment, and the Envision certification process; and

WHEREAS, the City and Construction Manager desires to amend the Contract to incorporate the GMP Proposal in an amount not to exceed \$15,030,610 dated April 3, 2018, into the Contract, add additional preconstruction phase services, revise the disadvantaged worker and apprentices provision to clarify good faith efforts and retainer, and modify other necessary provisions.

NOW, THEREFORE, in consideration of the foregoing recitals (which are an integral part of this First Amendment and are incorporated herein by reference) and the promises and covenants contained herein and other good and valuable consideration, the receipt and adequacy of which are hereby acknowledged, the Owner and Construction Manager hereby agree as follows:

1. All capitalized terms in this First Amendment shall have the same meaning specified in the Contract unless otherwise set forth herein.

2. §1.1 of the Standard Form of Agreement between Owner and Construction Manager (e.g., Document A133-2009, as amended), which is part of the Contract, is hereby amended to read as follows:

§ 1.1 The Contract and Contract Documents

This Agreement and the Contract Documents form the Contract between the Owner and the Construction Manager. The Contract Documents consist of the Conditions of the Contract (General, Supplementary and other Conditions), Drawings, Specifications, the Request for Proposals, Construction Manager's Proposal, other documents listed or referenced in this Agreement or the Contract Documents, and Modifications issued after execution of this Contract. Upon the Owner's acceptance of the Construction Manager's

Guaranteed Maximum Price proposal, the Contract Documents will also include the documents described in Section 2.2.3 and identified in the Guaranteed Maximum Price Amendment (and any amendments thereto) and revisions prepared by the Architect and furnished by the Owner as described in Section 2.2.8. The Contract represents the entire and integrated agreement between the parties hereto and supersedes prior negotiations, representations or agreements, either written or oral. In the event of an inconsistency or conflict between or among the documents referenced herein, the following order of precedence shall govern: (i) Modifications exclusive of exhibits (ii) this Agreement, exclusive of its exhibits; (iii) the Conditions of the Contract (General, Supplementary and other Conditions), exclusive of its exhibits; (iv) the Exhibit containing the Final Guaranteed Maximum Price proposal submitted by Construction Manager (e.g. Exhibit E); (v) the other exhibits; and (vi) all other Contract Documents. Any inconsistency or conflict between all other Contract Documents shall be initially resolved by the Initial Decision Maker after consulting with the Construction Manager with Construction Manager reserving all rights to dispute such resolution under Article 15 of the AIA Document 201-2007, as modified by the Owner.

3. §2.1.1 of the Standard Form of Agreement between Owner and Construction Manager (e.g., Document A133-2009, as amended), which is part of the Contract, is hereby amended to read as follows:

§2.1.1 The Construction Manager shall provide a preliminary evaluation of the Owner's program (which includes value engineering and constructability services), schedule and construction budget requirements, each in terms of the other. This evaluation by the Construction Manager shall include, at a minimum, the following: (1) a preliminary narrative addressing whether the Owner's Construction Cost Budget is sufficient to perform the Work; (2) identify possible areas in which the Owner may be able to achieve a savings under the Owner's Construction Cost Budget; and (3) work with the Architect to refine the cost plan and/or cost estimates during the design phases identified in the amended and restated architect/engineer agreement. The Construction Manager shall also provide preconstruction phase services related to the Doc Ford's Restaurant, gateway entrance, and playground equipment, which shall include value engineering, scheduling, geotechnical testing, and constructability review services. Construction Manager shall also provide program management and technical assistance for the Envision Certification process, which shall include coordinating and facilitating the compilation of documentation, providing technical guidance, and managing the online reporting system and payment of registration and certification fees.

4. §2.2.4.1 of the Standard Form of Agreement between Owner and Construction Manager (e.g., Document A133-2009, as amended), which is part of the Contract, is hereby amended to read as follows:

2.2.4.1 In preparing the Construction Manager's Guaranteed Maximum Price proposal, the Construction Manager shall include its contingency to cover those costs considered reimbursable as the Cost of the Work but not included in a Change Order. In addition, any buyout saving realized through the procurement process shall added to Construction Manager's contingency. Construction Manager shall obtain Owner's written approval to using such contingency, which approval shall be promptly provided after receipt of a request from Construction Manager. Such contingency may be used for any costs

reasonably required to perform or manage the Work to address items that include, but are not limited to: items inadvertently omitted during the estimating and bidding process, schedule recovery costs associated with weather and other causes of delay that are not otherwise compensable, interfacing omissions between and from the various categories of work, additional costs incurred due to the withdrawal or disqualification of a subcontractor bid that the Construction Manager had relied upon prior to execution of a written subcontract, general conditions over-runs, costs associated with subcontractor default, cost increases due to unanticipated local labor and material market conditions, additional costs that may arise or be associated with tariffs and/or cost escalation due to such tariffs, selective overtime, or the like. Upon Final Completion of the Project, if this contingency has not been used, these remaining funds shall be disbursed back to the Owner to be used at its sole discretion.

5. §2.3.2.10 of the Standard Form of Agreement between Owner and Construction Manager (e.g., Document A133-2009, as amended), which is part of the Contract, is hereby amended to read as follows:

§ 2.3.2.10 Disadvantaged Workers and Apprentices Requirements for the Project.

The Construction Manager and Owner agree (i) that at least ten percent (10%) of all labor hours of work performed on the Project shall be performed by disadvantaged workers employed by the Construction Manager or Subcontractors and (ii) that at least ten percent (10%) of all labor hours of work performed on the Project shall be performed by apprentices employed by the Construction Manager or Subcontractors. The Construction Manager shall be responsible for achieving and maintaining the required participation percentage for the duration of the Project. If the Construction Manager and respective Subcontractors are not able to achieve or maintain the required percentage, the Construction Manager must demonstrate and document that good faith efforts were made to achieve or maintain the required percentage. Good faith efforts shall constitute: (i) Construction Manager conducting at least one monthly outreach event; (ii) Construction Manager placing at least two monthly advertisements in two different community targeted local publications to promote its monthly outreach event and inform the public of potential employment opportunities; (iii) Construction Manager working with Career Source Pinellas, Pinellas Ex-Offender Re-Entry Coalition, 2020 Plan Taskforce, and Pinellas Technical College to recruit applicants and causing its Subcontractors to work with Career Source Pinellas, Pinellas Ex-Offender Re-Entry Coalition, 2020 Plan Taskforce, and Pinellas Technical College to recruit applicants; (iv) Construction Manager documenting solicited responses regarding background from employees and Subcontractor's employees; and (v) Construction Manager registering job openings with the Urban League and Career Edge/United Way and causing its Subcontractors to register job openings with the Urban League and Career Edge/United Way. Documentation that the Construction Manager or Subcontractor(s) made good faith efforts shall be submitted on forms provided by the Initial Decision Maker (i.e., the Engineering and Capital Improvements Director) or his designee. The Initial Decision Maker or his designee shall review the documentation and determine whether good faith efforts were made to achieve or maintain the required percentage of disadvantaged workers and apprentices. If the Construction Manager is dissatisfied with the Initial Decision Maker or his designee's determination, Construction Manager may make an appeal to the Mayor within fifteen (15) days after receipt of the Initial Decision Maker or his designee's determination.

The Construction Manager and Subcontractors shall keep records showing (i) the total hours of work performed on the Project, (ii) the name, address, trade classification, and labor hours worked, (iii) evidence of disadvantaged worker status and apprentices status, and (iv) employment status of all disadvantaged workers and apprentices asserted to meet the requirements set forth in this §2.3.2.10. The Construction Manager shall submit records to the Initial Decision Maker or his designee on a quarterly cycle for the duration of the Project. The record shall be submitted on or before January 15, April 15, July 15 and October 15 respectively. The records shall consist of the cumulative number of labor hours worked to date by disadvantaged workers and apprentices, and total labor hours worked to date. The records shall be cumulative for the duration of the Project and shall indicate any new hires. The Construction Manager is responsible for assuring that all compliance documentation is submitted to the City on forms provided by the Initial Decision Maker or his designee.

During the duration of the Project, compliance with this §2.3.2.10 shall be monitored and evaluated quarterly. If the Construction Manager has not met the requirements of §2.3.2.10, the Initial Decision Maker or his designee will provide written notice regarding noncompliance. The Construction Manager will be required to present a corrective action plan within thirty (30) days of such notice. Once the corrective action plan is approved by the Initial Decision Maker or his designee, the Initial Decision Maker or his designee will provide a time period for completion of the corrective action plan. The time period for completion of the corrective action plan shall not exceed thirty (30) days unless the Mayor or his designee determines that the Construction Manager has demonstrated that a longer time period is necessary and in the best interest of the City. If the Construction Manager fails to correct the deficiency within the time period, the Initial Decision Maker or his designee shall impose a penalty equal to the amount of the retainage withheld on the value of the labor hours.

Except to the extent in conflict with this §2.3.2.10, Construction Manager agrees to comply with the St. Petersburg City Code Sections 2-297 and 2-298.5.

6. Exhibit B is hereby deleted.

7. §4.1.1 of the Standard Form of Agreement between Owner and Construction Manager (e.g., Document A133-2009, as amended), which is part of the Contract, is hereby amended to read as follows:

§4.1.1 For the Construction Manager's initial Preconstruction Phase services, the Owner shall compensate the Construction Manager a fixed amount not to exceed two hundred thousand dollars (\$200,000). Such fixed amount is inclusive of all out of pocket expenses, including but not limited to transportation, lodging, meals, and materials. For the Construction Manager's Preconstruction Phase services related to the Doc Ford's Restaurant, gateway entrance, playground equipment, and the Envision Certification process, the Owner shall compensate the Construction Manager a fixed amount not to exceed one hundred twenty one thousand five hundred dollars (\$121,500), which includes ten thousand dollars (\$10,000) for geotechnical testing for the Doc Ford's restaurant. Such fixed amount is inclusive of all out of pocket expenses,

including but not limited to phone, computer, postage, transportation, lodging, meals, and materials.

8. §11.5.1 of the Standard Form of Agreement between Owner and Construction Manager (e.g., Document A133-2009, as amended), which is part of the Contract, is hereby amended to read as follows:

§ 11.5.1 All deliverables, reports, and documents related to the Contract shall be made available to the Owners upon request and shall be considered public records in accordance with Chapter 119, Florida Statutes, unless exempt therefrom. Construction Manager shall comply with the Florida laws regarding public records (e.g., Chapter 119, Florida Statutes, and specifically Chapter 119.0701(2)(b)1-4). IF CONSTRUCTION MANAGER HAS QUESTIONS REGARDING THE APPLICATION OF CHAPTER 119, FLORIDA STATUTES, AS TO CONSTRUCTION MANAGER'S DUTY TO PROVIDE PUBLIC RECORDS RELATING TO THE CONTRACT, CONTACT THE CITY CLERK'S OFFICE (THE CUSTODIAN OF PUBLIC RECORDS) AT (727) 893-7448, CITY.CLERK@STPETE.ORG, OR 175 FIFTH ST. N., ST. PETERSBURG FL 33701.

9. §9.1 of the General Conditions of the Contract for Construction (e.g., Document A201-2007, as amended), which is part of Contract, is hereby amended to read as follows:

§ 9.1 CONTRACT SUM

The Contract Sum is stated in the Contract and, including authorized adjustments, is the total amount payable by the Owner to the Contractor for performance of the Work in the Construction Phase under the Contract. **THE CONTRACTOR ACKNOWLEDGES THAT THE CONTRACT SUM SHALL NOT EXCEED THE GUARANTEED MAXIMUM PRICE SET FORTH IN THE GUARANTEED MAXIMUM PRICE AMENDMENT (OR ANY AMENDMENT THERETO).**

10. §11.1 of the General Conditions of the Contract for Construction (e.g., Document A201-2007, as amended), which is part of Contract, is hereby amended to read as follows:

§11.1 Contractor's insurance and bonding requirements are set forth in Amended Exhibit C, which is attached hereto and made a part of the Contract. All references in the Contract to Exhibit C shall mean the Amended Exhibit C.

11. The Guaranteed Maximum Price Proposal in an amount not to exceed \$15,030,610 dated April 3, 2018, attached hereto and made a part hereof as Exhibit E is hereby approved and accepted.

12. Any and all provisions of the Contract not specifically amended by this First Amendment shall remain in full force and effect.

IN WITNESS WHEREOF, the City and Construction Manager have caused this First Amendment to be executed by their duly authorized representatives on the date first above written.

CITY OF ST. PETERSBURG, FLORIDA

ATTEST

By: _____

City Clerk

Print: _____

(SEAL)

Title: _____

Approved as to Form and Content:

City Attorney (Designee)

SKANSKA USA BUILDING, INC:

WITNESSES

By: _____

By: _____

Print: _____

Print: _____

Title: _____

By: _____

Print: _____

370198 execution version
FINAL

AMENDED EXHIBIT C

Article 11 INSURANCE AND BOND

11.1 Insurance

Except as otherwise authorized in writing by the Owner, the Contractor shall not commence work under the Contract until all insurance required below has been obtained and approved by the Owner. The Contractor shall not allow any Subcontractor to commence work on a subcontract until all insurance required of the Subcontractor has been obtained and approved. If a Subcontractor does not obtain insurance in its own name and its principal Contractor wishes to provide insurance protection for such Subcontractor and such Subcontractor's employees, Contractor shall (i) attach a rider to the principal Contractor's policy, which rider shall identify the persons thereby covered or else the principal Contractor shall obtain appropriate policies in the name of the Subcontractor and (ii) comply with the additional requirements set forth in Attachment C-1, which is attached to this Amended Exhibit C and made a part hereof.

The Contractor shall provide the Owner with Certificates of Insurance for all new and renewal insurance policies. Certificates shall name the City of St. Petersburg as an additional insured except for the Workers' Compensations insurance and show the City of St. Petersburg as the Certificate Holder. No insurance policy required herein may be canceled, non-renewed, or adversely changed without thirty days written notice to the Owner. Except as otherwise provided in Section 11.1.4 of this Exhibit C, insurance shall be maintained at all times by the Contractor until Final Acceptance of the Work by the Owner except for completed operations coverage which shall be maintained for a period of one year beyond Final Acceptance of the Project. Completed operations coverage shall not serve to limit the liability of the Contractor.

Certificates of Insurance shall be delivered to the Procurement & Supply Management Director. Failure to provide Certificates or failure to renew Insurance shall not relieve the Contractor of the responsibility to provide insurance as required. At the Owner's request, the Contractor shall allow the Owner and/or the Owner's designated representative to come to its Tampa office, during regular business hours, to review complete copies of Contractor's and all its Subcontractor's insurance policies. The Owner shall have the right to take notes during its review of the policies. Receipt of Certificates of Insurance which indicate less coverage than required does not constitute a waiver of the Contractor's obligation to fulfill the insurance requirements herein.

The Contractor may, at its option, provide the limits of liability as set out herein by a combination of the policies described herein, including an Umbrella or Excess Liability Insurance Policy. Any Excess or Umbrella policy must provide coverage on at least a following form basis and must include completed operations and excavation, collapse and underground coverage.

Approval of the insurance by the Owner shall not in any way relieve or decrease the liability of the Contractor. It is expressly understood that the Owner does not in any way represent that the specified limits of liability or coverage or policy forms are sufficient or adequate to protect the interest or liabilities of the Contractor.

The Contractor's self-insured retention limit may be disapproved by the Owner. All responsibility for payment of any sums resulting from any deductible provisions, corridor, or self-insured retention conditions of the policy or policies shall remain with the Contractor.

11.1.1 Worker's Compensation

Coverage

The Contractor shall obtain and maintain during the life of the Contract, Worker's Compensation Insurance for all of Contractor's employees employed at the site of the Project. Coverage should include Employers Liability, Voluntary Compensation and U.S. Longshoremen's and Harbor Worker's Act coverage where applicable.

If any work is subcontracted, the Contractor shall require each Subcontractor to provide Worker's Compensation Insurance for all the Subcontractor's employees unless such employees are covered by the Worker's Compensation Insurance afforded by the Contractor.

The Contractor and Subcontractors shall purchase any other insurance or coverage required by law for the benefit of their employees. The Contractor and Subcontractors shall obtain and maintain such insurance and coverage in amounts not less than the following:

Limits

Worker's Compensation – as required by Florida Law.

Employer's Liability - \$500,000 each employee, each accident, and \$500,000 each employee / \$500,000 policy limit for disease.

11.1.2 Commercial General Liability

Coverage

The Contractor shall obtain and maintain during the life of the Contract, such Commercial General Liability Insurance as shall provide coverage for the Contractor, Subcontractors, and the Owner from claims for bodily injury and personal injury, including accidental death, as well as from claims for property damage which may arise from operations under the Contract, whether such operations be by the Contractor or by any Subcontractors, or any of their agents, representatives, guests, employees, invitees or anyone contracting with Contractor or by anyone directly or indirectly employed by any of them.

Explosion, collapse and underground hazards shall be covered by the Contractor's and Subcontractor's Commercial General Liability Insurance. If such policy does not cover asbestos abatement liability, then a separate asbestos abatement policy with a limit of no less than \$5,000,000 is required, on applicable projects.

A separate general aggregate limit of liability shall apply to the Project in the Contract. If the Contractor works on more than one project, a general aggregate shall apply to each of such projects. The project(s) shall be specifically described in the endorsement.

If Comprehensive General Liability Insurance is obtained instead of Commercial General Liability Insurance, the policy must include the Broad Form Comprehensive General Liability Endorsement.

Limits

Occurrence type Commercial General Liability in amounts not less than:

General Aggregate Limit applicable per Project:	\$5,000,000
Products and Completed Operations Aggregate Limit:	\$5,000,000
Personal & Advertising Injury Limit:	\$5,000,000
Each Occurrence Limit:	\$5,000,000
Medical Expense Limit:	Optional

11.1.3 Business Automobile Insurance

Coverage

The Contractor shall obtain and maintain Business Automobile Insurance providing liability coverage for "any auto", which shall include, but not be limited to, all leased, owned, non-owned, and hired vehicles.

Limits

\$1,000,000 combined single limit each occurrence for bodily injury and property damage.
\$2,000,000 aggregate.

11.1.4 Builder's Risk Insurance

Contractor shall obtain and maintain Builder's Risk Insurance insuring the Contractor's work at the site to its full insurable replacement value. This insurance shall insure the interests of the Owner, the Contractor, and all Subcontractors in the Work and shall insure against special form causes of loss (all risk perils), including collapse during construction for replacement cost (including fees and charges of engineers, architects, attorneys and other professionals). The Contractor shall obtain and maintain similar property insurance

on equipment, materials, supplies and other property and portions of the Work stored on or off site or in transit. Builder's Risk Insurance shall be endorsed to permit occupancy until such time as the facilities are completed and accepted by the Owner and written notice of that fact has been issued by the Owner. Builder's Risk Insurance to be maintained until Substantial Completion of the Work.

11.1.5 Environmental Liability Insurance

Coverage:

The Contractor shall obtain and maintain Environmental Liability Insurance with a minimum policy limit of \$5,000,000. Said policy shall also provide coverage for items in transit.

Limits

\$5,000,000

11.1.6 Professional Liability Insurance

Coverage:

The Contractor shall obtain and maintain Professional Liability Insurance providing coverage including bodily injury and property damage from design, management such as construction project supervision, payment authorization and including Errors and Omissions coverage for the Work required to be performed by the Contractor pursuant to the Contract with a limit of \$5,000,000 per occurrence. If the policy is on a claims made basis with a limit of \$5,000,000 then the policy shall be maintained for at least two (2) years past the date that the Work is completed.

Limits

\$5,000,000 minimum limit per occurrence

11.2 PUBLIC CONSTRUCTION BOND

The Contractor shall furnish a Public Construction Bond executed by a surety company duly authorized to do business in the state of Florida which shall be countersigned by an agent for the company, resident in the state of Florida on the Owner's bond form attached hereto. The amount of the bond shall be equal to the Guaranteed Maximum Price (as set forth in the Guaranteed Maximum Price Amendment), as security for the faithful performance of the Contract and as security for the payment by the Contractor of all persons performing the Contract. The Surety company shall have a rating classification of "A" and a financial category of Class VII as evaluated in the current Best's Key Rating Guide, Property – Liability.

In lieu of the Public Construction Bond, the Contractor may furnish to the Owner an alternative form of security in the form of cash, money order, certified check, cashier's check, an irrevocable letter of credit, or a security of a type listed in Chapter 625, Part II, of the Florida Statutes and acceptable to the City Attorney. Any such alternative form of security shall be subject to the same conditions as those applicable to the Construction Bond required by this section and Chapter 255 of the Florida Statutes.

The Public Construction Bond shall remain in effect for at least one year beyond the date of final acceptance by the Owner.

Alternative forms of security will be returned to the Contractor not later than thirty (30) days following the expiration of the guarantee period.

ATTACHMENT C-1

In addition to the requirements set forth in Amended Exhibit C, Contractor agrees to the following.

1. All requirements set forth in Amended Exhibit C not covered by the Contractor Controlled Insurance Program shall be in effect, including coverage for offsite operations.

2. Requirements for Contractor Controlled Insurance Program (CCIP):

a. Coverage

1. Commercial General Liability Insurance shall be provided on ISO Coverage Form CG 00 01 04 13 and include the following ISO Endorsements CG 20 10 07 04, CG 20 37 07 04, and CG 20 01 04 13 in amounts not less than:

<u>Each Occurrence Limit</u>	\$2,000,000
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<u>Personal & Advertising Injury</u>	\$2,000,000
--	-------------

<u>General Aggregate Limit Per Project</u>	\$4,000,000
--	-------------

<u>Products and Completed Operations Aggregate Limit</u>	\$4,000,000
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Products and Completed Operations Coverage shall be maintained through the 10 year Florida Statue of Repose.

2. Workers Compensation – As Required by Florida Law

Employer Liability - \$2,000,000 each Employee, each accident, and \$2,000,000 each employee / \$2,000,000 for disease.

3. Excess Liability in an amount not less than \$100,000,000 per occurrence and aggregate limits dedicated to the Project and Work on a follow form basis.

b. Certificates of Insurance shall be provided to the Owner prior to commencement of the Work and for the 10 years following completion of the Work.

c. Contractor hereby waives all subrogation rights of its insurance carriers in favor of the Indemnified Parties. This provision is intended to waive fully, and for the

benefit of the Indemnified Parties, any rights or claims which might give rise to a right of subrogation in favor of any insurance carrier

- d. All policies, with the exception of Workers' Compensation, shall name the Indemnified Parties as additional insured, be in occurrence form, provide contractual liability covering the liability assumed in the Contract, shall not exclude any activity that would normally be associated with use of the Project site, and shall be primary and non-contributory to any insurance maintained by the City.
- e. Contractor shall be responsible for all deductibles.
- f. In the event that a Subcontractor is not eligible to participate in the CCIP, Subcontractor's General Liability and Excess Liability policies must not have exclusions related to the Project and Work.

Exhibit E

City of St. Petersburg Pier Approach

GMP | Rev1 - April 3, 2018



SKANSKA



April 3, 2018

Engineering and Capital Improvements Director
City of St. Petersburg
One 4th Street N.
St. Petersburg, FL 33701

Re: The Pier Approach
Guaranteed Maximum Price

Dear Mr. Praymon,

Skanska USA Building, Inc. is pleased to submit its Guaranteed Maximum Price for the City of St. Petersburg project mentioned above.

Sincerely,
SKANSKA USA BUILDING INC.

A handwritten signature in blue ink, appearing to read "C. Jablon".

Chuck Jablon, Sr. Vice President - Account Manager

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Appendix - A

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Guaranteed Maximum Price Summary

- Executive Summary
- Cost Summary

1

GMP Summary

Executive Summary

The Guaranteed Maximum Price (GMP) is based upon the documents prepared by W Architecture & Landscape Architecture, LLC and their respective consultants (A/E Team) which are itemized in the Document List of this proposal. Further project scope definition has been developed by Skanska USA Building Inc., and various assumptions that are attached to this proposal.

The GMP is \$ 15,030,610. This GMP Proposal, upon acceptance by the City of St. Petersburg, is intended to serve as the basis for an Amendment to the Construction Manager at Risk Agreement with a Guaranteed Maximum Price, dated March 26, 2018 as amended (“Contract”), adding the balance of the construction phase activities to the current contract.

Guaranteed Maximum Price components

- Total Guaranteed Maximum Price (GMP) \$ 15,030,610

Project Description

The Pier Approach project includes the revitalization and construction of the uplands portion of the pier district between the new St. Pete Pier™ project and Bayshore Drive totaling approximately 16 acres. Specifically, the project includes the removal of the existing dolphin and pelican parking lots as well as 2nd avenue NE as they exist today and replacing them with new parking lots for 543 spaces and a new market promenade area complete with shade structures, hardscape and softscape that replaces the old 2nd Ave. NE. Additionally, new greenspace will be created that includes family and kid’s park areas. The kid’s park will include playground equipment. Greenspace areas will include new swales, ponds and view areas that will be linked with hardscape sidewalks, synthetic wood boardwalks and bridges that are broken up by numerous seating and view areas.

Skanska has developed and enclosed a Project Schedule, which indicates the agreed upon schedule objectives for the project. The overall project schedule reflects a duration of 16 months for the construction phase of the project. The contractual dates are as follows:

- Substantial Completion July 2, 2019
- Final Completion August 30, 2019

The following additional milestone dates are anticipated within the Project Schedule in order to achieve the contractual dates listed above:

- NTP by City May 1st, 2018
- Permit issued May 1st, 2018

Cost Summary

Following is the Cost Summary breakdown.

COST SUMMARY

DESCRIPTION		BASE SCOPE	ADDITIONAL SCOPE ITEMS		TOTAL
			SEAWALL REPAIR	SANITARY, WATER MAIN, & RECLAIM WATER SCOPE	
TARGET ESTIMATE SUMMARY					
1	01A General Requirements	379,673			379,673
2	02 Temp Fence	109,993			109,993
3	03 CIP Concrete	549,034			549,034
4	03A Precast Concrete	120,324			120,324
5	03B Seawall Repair		898,000		898,000
6	05A Steel	898,000			898,000
7	05B Railings	62,912			62,912
8	06A Rough Carpentry - Boardwalks & Overlooks	268,749			268,749
9	09G Painting	88,948			88,948
10	26A Electrical	2,425,242			2,425,242
11	31A Sitework	4,005,563		355,055	4,360,618
12	32A Landscape, Irrigation & Hardscape	2,182,585			2,182,585
DIRECT COST		11,091,022	898,000	355,055	12,344,077
BUILDING PERMIT		NIC	NIC	NIC	NIC
CONSTRUCTION CONTINGENCY		332,731	26,940	10,652	370,322
SUBCONTRACTOR DEFAULT INSURANCE 1.42%		162,217	13,134	5,193	180,544
CCIP 2.58%		339,775	28,665	11,610	380,050
SUBTOTAL		11,925,745	966,739	382,509	13,274,994
GENERAL CONDITIONS					
General Conditions & Requirements - Lump Sum		662,614	95,452	47,726	805,792
CM FEES					
Construction Management Fees		440,593	37,177	15,058	492,828
INSURANCES & BOND					
Builders Risk Insurance Allowance		51,660	4,188	1,657	57,505
Performance & Payment Bond 0.68%		88,948	7,504	3,039	99,492
SUBTOTALS		13,169,560	1,111,060	449,990	14,730,610
OWNER'S CONTINGENCY FOR UNFORSEEN CONDITIONS		300,000	NIC	NIC	300,000
TOTALS		13,469,560	1,111,060	449,990	15,030,610
ENHANCEMENTS including indirect costs					
TOTAL WITH ENHANCEMENTS					
					15,030,610

2 Basis of Guaranteed Maximum Price

- Introduction
- Insurances and Bonds
- Standard Qualifications
- Scope Specific Qualifications
- Allowances

2 Basis of GMP

Introduction

This section of the GMP describes modifications, conceptualizations, and exclusions.

No cost or time has been accounted for in the GMP to address the issue of any items identified as “excluded”. For those items that are clarified, qualified and/or based upon an assumption, the GMP reflects only the cost and time of the element as assumed or clarified.

Skanska’s GMP is based upon the following:

1. Document log provided in Section 3.
2. Skanska’s GMP dated April 3, 2018.
3. The qualifications mentioned in this proposal.

**Note – Addendum #3 is NOT included.*

Insurances and Bonds

Insurances:

1. Builders Risk Insurance is included through Substantial Completion and is based on total cost of the GMP as defined in section One Cost Summary.
2. Skanska shall furnish a Contractor Controlled Insurance Program ("CCIP") providing for the insurance coverages identified below. The cost of the CCIP is included in the Cost of the Work included in the Guaranteed Maximum Price calculation. The CCIP shall only cover on-site exposures and enrolled participants. Owner shall pay Skanska for CCIP premiums calculated as 2.58% of the Guaranteed Maximum Price,
 - On-Site General Liability, including Products & Completed Operations coverage for ten (10) years;
 - On-Site Workers Compensation and Employers Liability, including USL&H and Jones Act coverage;
 - \$100M in Excess Liability Limits Contractor Controlled Insurance Program (CCIP) Insurance is included at 2.58%.

Bonds:

1. Payment and Performance Bond is included.
2. In lieu of bonding its Subcontractors, Skanska shall maintain subcontractor default insurance ("SDI") for the protection of the Skanska and the Owner against the default of Subcontractors. The cost of the SDI program will be included in the Cost of the Work included in the Guaranteed Maximum Price calculation. Owner shall pay Skanska for SDI premiums calculated as 1.42% of the Cost of the Work less General Conditions Costs for SDI.

Coordination with other Contractors

This GMP is based on the assumption that the Owner's contractors and all other parties performing construction work at the project site, not under direct contract with Skanska will:

1. Comply with Skanska's site specific safety program and maintain an injury free environment.
2. This GMP is based on the expectation that all pre-purchased items to be provided by the Owner will be provided without delay or disruption per Skanska's schedule attached.
3. This GMP assumes any separate contractors hired by the Owner will not interfere with the operation of Skanska.
4. This GMP relies on and assumes Owner's other contractors working according to Skanska's project schedule, and will achieve system and area completion dates according to that schedule.
5. This GMP relies on and assumes Owner's other contractors will perform work so as to not impact Skanska's ability to perform its work in accordance with its project logistics plan.
6. This GMP relies on and assumes Owner's other contractors will provide detailed schedule, logistics, and technical information, when and as requested by Skanska so as to enable Skanska to maintain or accelerate elements of its schedule, maintain its overall schedule and achieve necessary milestone completion dates.
7. This GMP relies on and assumes Owner's other contractors will provide and maintain insurance as required by the city, naming Skanska USA Building Inc. as an additional insured party.

Standard Qualifications

The following are the Standard Qualifications for The Pier Approach project:

1. Consistent with the New Pier CMAR GMP, we have included Lump Sum GCs & GRs.
2. In preparing the GMP and the project schedule, Skanska relies on the construction documents to be designed, coordinated, code compliant, and accepted by the appropriate agencies and other applicable parties.
3. The cost of changes to the construction documents due to permit comments or conditions issued to Skanska following the delivery and acceptance of the GMP are excluded.
4. The information in Appendix – A (Supplemental Information) take precedence over drawings and all other documents listed in the document log. Appendix - A includes RFI's and accepted PCEs.
5. Property, business operations and other taxes related to the Project Site and the operation of the project have not been included.
6. All sales tax on material is included.
7. Third party agency testing and inspection services have not been included, unless otherwise noted. Materials Testing for soil densities, concrete, masonry, asphalt testing and testing of steel / welding as per drawings have been included as an allowance.
8. All costs associated with moving and/or relocating of any furniture or equipment from other sites is excluded with the exception of items specifically noted such as donor pavers and dedication bronze plaque adjacent to the museum.

9. All Owner supplied material and equipment, as well as any required submittal and / or design information shall be furnished and installed by the Owner in accordance with the project schedule. As part of its obligation, the Owner shall provide detailed information on all final required final connections if called for on the documents. Owner furnished and installed equipment includes but is not limited to Bike Racks, LOLL Benches, LOLL Sofas, LOLL Tables, LOLL Chairs, LOLL Flat Adironnacks, ping-pong tables, Bike Share Stations, Trash Cans, Picnic Tables and Water Fountains.
10. Commissioning services are not included except for trade labor to support commissioning. Performance/ Aesthetic mock ups and prototypes that will not be incorporated into the permanent work are excluded.
11. Required mockups are assumed to be in-place mockups that once approved, will be incorporated in final construction.
12. All extended warranties included in the specifications, including the material/labor warranties, shall be assigned to Owner following the Skanska's one year repair/replacement obligation under the Contract. Thereafter, Skanska shall only be responsible for assisting reasonably the Owner in enforcing those warranties provided by the manufacturers, suppliers and subcontractors.
13. No archaeological remediation is included.
14. Skanska assumes unfettered access to the Project Site at all times. The GMP does not anticipate any stoppage or interruption of work as a result of operations by others or other site restrictions or interferences. The City will provide written notice of any activities in downtown St. Petersburg that could result in disruptions to site ingress/egress and both parties will work cooperatively to resolve any potential disruptions.
15. All fees including utility company, public agency reviews or approvals and associated fees are not included.
16. Threshold inspection costs are not included.
17. The Owner shall be responsible for obtaining permits as set forth in Contract. Building permit costs are not included.
18. Deleted.
19. The GMP is based on the City's acceptance and execution of the Amendment and issuance of the Notice to Proceed (NTP) by May 1, 2018. The Substantial Completion is directly linked to this date and shall adjust to a later date equal to the NTP being issued on a later date than noted above.
20. Bio-Swales as indicated on drawings are not included as per detail 10/L2.51. No filter beds, bold-n-gold or rip rap are included in any of the swales.
21. Pier Pile cutoffs for Site Security as indicated on the drawings are excluded from the GMP.
22. Pier Pile cutoffs for rip rap as indicated on the drawings is excluded from the GMP. All Rip Rap is excluded from the GMP except that indicated for the Pelican Seawall Repair.
23. All steps noted as pier pile ends are excluded from the GMP.
24. All exposed concrete walls, and foundations are an as cast class A finish.
25. Transformer and Equipment locations on the pier approach drawings adjacent to dumpster location is in conflict with that of the pier drawings. Additional costs are not carried for longer secondary feeders on the pier project if the transformer and equipment are installed per the approach drawings. If transformer location and equipment move to the locations shown on the pier drawings, the utility company costs to the city might be increased with longer feeders and additional conduit.

26. GMP does not include conduit labor or material for utility company feeders as not shown. An add alternate allowance has been provided in the GMP. Utility company design still required.
27. Painting of dumpster enclosure CMU is excluded.
28. Deleted.
29. Deleted.
30. Deleted.
31. Deleted.
32. Deleted.
33. Use of union labor/prevailing wage is not included.
34. Delegated design is not included.
35. The GMP includes costs that are established for items accepted on the PCE log, but not incorporated into the documents pending development of final details from the Architect. Once these items are shown on the documents final pricing will be verified. Accepted PCEs are not substitutions or alternates, but rather the base design within the GMP. See Appendix – A for PCE log.
36. While the project schedule included in the GMP proposal includes and contemplates scope elements not included in the GMP scope of work, Skanska does not and cannot guarantee the completion of these items as shown in the schedule as we have no control over the timing of these elements that have not been enacted at this time. We have incorporated into the schedule to help track, drive and evaluate the preconstruction activities by others and the ability for these potential added elements being added and completed by the Final Completion date set forth herein. These include but are not limited to the central basin north retaining wall work, the north basin south retaining wall work, the playground equipment, the Duke Energy solar canopy in the pelican parking lot, the Doc Ford's restaurant, the Round-a-Bout at 2nd avenue and Bayshore drive.

The pelican parking lot seawall repair work as shown in the schedule relies on the City providing all permits by 8/1/18. Any delays in this work will impact the pelican parking lot, the overlook, the Doc Fords Restaurant, etc.
37. We exclude all unforeseen conditions related to underground obstructions from previous seawalls, buildings, buried debris and buried organics that might have been left in place as the land was developed and changed over time. These will be considered changes to the work and any direction / coordination regarding same will be covered out of the owner's contingency or change order.
38. We exclude the capping and removal of any existing wells that might be encountered. These will be considered as an unforeseen condition as none are indicated and will have to be covered out of the owner's contingency or change order.
39. The GMP excludes any modifications required due to coordination with existing deadmen and tiebacks as part of the North and Central Basins.
40. Deleted.
41. All work associated with environmental mitigation is excluded.
42. Upgrading of existing utilities/storm drainage systems shown to remain is not included in this GMP. It is assumed that the existing infrastructure has been coordinated and can handle proposed flows of new piping.

43. We have not included any special treatments and filtrations processes / chemicals etc. for surface or groundwater beyond that indicated on the SWPPP plans. We do not include flocking or other treatments.

44. Deleted.

45. Deleted.

46. The GMP proposal does not include any costs, (direct, indirect or otherwise), for enhancements that have been discussed but not yet implemented. The enhancements being considered include but are not limited to Doc Ford's Restaurant, the north and central basin seawall repairs, etc.

Scope Specific Qualifications

3 Cast In Place Concrete:

1. All cast in place retaining walls and foundations to be 4,000psi with As-Cast Class A finish.
2. No special colors included.
3. Special formwork not included for Market Stall foundations as described in specifications.

03A Precast:

1. All precast materials exclude color and specialty finishes.

03B Seawall Repair:

1. Does not contain any costs or contingencies for repairs or replacement of the existing tie rods and/or deadmen.

05A Structural Steel:

1. Sunshade framing is being hot-dip galvanized after fabrication. After the galvanizing process, all steel shall be SSPC-SP7 "brush off black" cleaned and primed with one coat (5.0 to 10.0 mils DFT) of Sherwin Williams Macropoxy 646 Fast Cure (B58-600 series). After priming, all steel shall be painted with one coat (2.0 to 4.0 mils DFT) of Sherwin Williams Acrolon 100 (B65-700 series). Final finish coat in field by painter.
2. A warranty for paint finish over galvanized steel is not included.
3. Filler plates shown in C/S-1.02 can be spaced at 48" o.c., these plates were not estimated as continuous.
4. Based on both sunshade canopies being identical.

05B Railings:

1. Aluminum railings/ handrails will match those being installed per the Pier project.
2. For railings, as per the contract documents, we have included railings as per the Pier project. Skanska has included in the GMP Appendix – A the Pier rail specification and copy of the Pier documents that show the railing detail. We are relying on these documents, as referenced by the approach architect, to be a code compliant for the approach application.
3. Includes double stanchion posts at Overlook only.
4. Railing to be fabricated with 1.5" round top cap, 4" square tube scuppers, ¼" bar removable plate, ¼" bar reflector plate, ¼" bar slotted plate, ½" bar posts, 6" x 10" base plates, 6" x 6" base plates, ¼" aluminum wire mesh with 3-3/4" square holes, and ½" perimeter channel.
5. Includes 5052, 6063, and 6061 aluminum alloys.
6. Includes Kynar finish in standard color.
7. Handrails railings to be fabricated with 1.5" aluminum tube handrail and posts.

6 Boardwalks and Overlooks:

1. An allowance has been included at the area to the right of the CaliBamboo stairs, plans/ details not provided.

9 Paint And Coating:

1. Prime and intermediate top coat included in steel package.
2. Final top coat included in this painting and coating package.
3. Anti Graffiti will only be included at the additive alternate market stall precast if the alternate is accepted.

26 Electrical:

1. Includes conduit and feeder to service No. 4 from transformer location as shown on E2.20.

31A Sitework:

1. Storm structures 309 and 310 were estimated as type 'H' structures, type 'D' will not work.
2. Penetrations of the pelican seawall outfall pipes (triple 24" storm) are to be relocated roughly 100' southeast of the currently indicated location, as approved in the GMP RFI's (included in Appendix).
3. Water meters/ BFP assemblies are provided by others.
4. Recycling most of the on-site pavement material to be utilized as fill including the asphalt millings.
5. 12" and 8" Stabilization; where called for, will be done by installing 6" and 4" layer of the crushed concrete base material respectively instead of mixing in place.
6. Grass stripping's will be utilized in green areas.
7. Directional boring is excluded for water connection across Bayshore drive. Cutting and patching of roadway included.
8. Penetrations of the Pelican seawall outfall pipes (triple 24" storm) are to be relocated roughly 100' southeast of the currently indicated location.

32B Landscape, Hardscape, and Irrigation:

1. Includes backfill of trees as native/ site soils and amended with Agriform tablets. All other plant material backfill with the specified soil mix and amended with Agriform tables.
2. Includes percolation test at 1 test per 10,000 sf of planting bed (10 total).
3. Excludes 'poor drainage condition' detail 8/L-2.51, pending percolation test.
4. Includes Sabal palmetto quantity/ size as 21-14' CT, 21-16' CT, 20-18' CT, 20-20' CT, 20-22' CT.
5. Includes Taxodium distichum, FG as 2"C, 10-12' HT, size not specified.
6. Includes 25 TH2, plant schedule has 18, bid includes 25.
7. Assumes designers have coordinated the irrigation controller at the Pier project that the Pier Approach irrigation system ties in to, and will accommodate the Pier Approach project.
8. Point of connection as per sheet I-2.03 existing 4" ML from adjacent Pier project.
9. Mainline as follows, not specified on plans: 2" C200 BE Reclaimed PVC, 2.5" C200 BE Reclaimed PVC, 3" C200 GJ Reclaimed PVC w/ Harco DI Fittings.
10. Includes ICZ15140 large drop kid in lieu of ICZ151XL drip kit.

11. All concrete is 4,000 psi, standard grey, broom finish. Excludes fiber reinforcement.
12. 6" and 8" sidewalks include welded wire fabric and it is 6/6 1.4 WW mesh, mesh not coated. 4" sidewalks do not include any reinforcing.
13. Detectable warning surfaces are truncated dome pavers.
14. Excludes reinforcing steel in flatwork, exception 3 runs #4 rebar running the perimeter of all precast tree ring locations and 2' of #4 rebar at 18" OC, running perpendicular to the perimeter of all precast tree ring locations.
15. Metal edging included only at shell or sand abut landscaping.
16. Site furnishings are furnished and installed by Owner.
17. Turf Maintenance and Mowing is excluded and is assumed to be by the City of St. Petersburg.

ALLOWANCES

In order to provide the Guaranteed Maximum Price per Owner's requested delivery date, a number of cost allowances had to be established. These allowances are intended to provide for all direct construction costs associated with each of these items. Indirect costs are not included in allowances.

1. Material testing allowance: \$ 75,000
2. Dewatering allowance: \$ 50,000
3. Builders Risk Allowance: \$ 57,505
4. Permit Comments & Architect Addendum # 3 Allowance: \$ 71,617

3 Document Log

The Document Log that follows represents the information that forms the Basis of the GMP and associated clarifications defined herein.

SECTION 3 – DOCUMENT LOG

DRAWINGS & SKETCHES, SPECIFICATIONS, ADDENDA and OTHER DOCUMENTS

The Contract Documents include the following documents, attached as separate sheets.

Specifications

Section	Description	Issued Date
01 23 00	ALTERNATES	11/01/2017
01 25 00	SUBSTITUTION PROCEDURES	11/01/2017
01 31 00	PROJECT MANAGEMENT AND CORDINATION	11/01/2017
01 33 00	SUBMITTAL PROCEDURES	11/01/2017
01 40 00	QUALITY REQUIREMENTS	11/01/2017
01 50 00	TEMPORARY FACILITIES AND CONTROLS	11/01/2017
01 56 39	TREE AND PLANT PROTECTION	11/01/2017
01 60 00	PRODUCT REQUIREMENTS	11/01/2017
01 73 00	EXECUTION	11/01/2017
01 74 19	CONSTRUCTION WASTE MANAGEMENT AND DISPOSAL	11/01/2017
01 77 00	CLOSEOUT PROCEDURES	11/01/2017
01 78 23	OPEATION AND MAINTENANCE DATA	11/01/2017
01 78 39	PROJECT RECORD DOCUMENTS	11/01/2017
01 79 00	DEMONSTRATION AND TRAINING	11/01/2017
02 41 19	SELECTIVE DEMOLITION	11/01/2017
03 30 00	CAST-IN-PLACE CONCRETE AWARDED SPO	11/01/2017
03 33 00.01	MARKET CONCRETE FOOTING	11/01/2017
03 45 00	PRECAST ARCHITECTURAL CONCRETE	11/01/2017
03 45 00.01	MARKET PRECAST ARCHITECTURAL CONCRETE	11/01/2017
04 21 00	CONCRETE UNIT MASONRY	11/01/2017
05 05 13	FACTORY-APPLIED METAL COATINGS	11/01/2017
05 12 00	STRUCTURAL STEEL	11/01/2017
05 50 00	METAL FABRICATIONS	11/01/2017
05 52 13	PIPE AND TUBE RAILINGS	11/01/2017
06.10.00	ROUGH CARPENTRY	11/01/2017
06 15 00	EXTERIOT WOOD DECKING	11/01/2017
09 96 00	HIGH PERFORMANCE PAINTING AND COATING	11/01/2017
09 96 23	GRAFFITI RESISTANT COATINGS	
10 80 00	SPECIALITIES	11/01/2017
26 01 00	BASIC ELECTRICAL REQUIREMENTS	11/01/2017
26 05 00	COMMON WORK RESULTS FOR ELECTRICAL	11/01/2017
26 05 19	CONDUCTORS AND CABLES	
26 05 26	GROUNDING AND BONDING	11/01/2017
26 05 29	HANGERS AND SUPPORTS FOR ELECTRICAL SYSTEMS	11/01/2017
26 05 33	RACEWAYS AND BOXES	11/01/2017
26 05 53	ELECTRICAL IDENTIFICATION	11/01/2017
26 22 00	LOW-VOLTAGE TRANSFORMERS	11/01/2017

SECTION 3 – DOCUMENT LOG

26 24 16	PANELBOARDS	11/01/2017
26 27 26	WIRING DEVICES	11/01/2017
26 28 16	ENCLOSED SWITCHES AND CIRCUIT BREAKER	11/01/2017
26 43 13	SURGE PROTECTION DEVICES	11/01/2017
26 56 00	EXTERIOR LIGHTING	11/01/2017
26 56 00	EXTERIOR LIGHTING LUMINAIRE SPECIFICATIONS SHEETS	11/01/2017
31 00 00	EARTHWORK	11/01/2017
31 11 00	CLEARING AND GRUBBING	11/01/2017
32 13 16	DECORATIVE CONCRETE PAVING	11/01/2017
32 13 15	CONCRETE JOINT SEALERS	11/01/2017
32 31 13	CUSTOM FENCES AND GATES	11/01/2017
32 91 13	STRUCTURAL SOIL	11/01/2017

Drawings:

Drawing No.	Drawing Title	Revision No.	Date	Set Name
Addendum 01				
G-0.10	DRAWING INDEX	1	01/05/2018	VE PRICING ADDENDUM
C-1.00	COVER	1	02/23/2018	Bidding Addendum 2
C-1.05	GFY SURVEY – PIER APPROACH	0	11/01/2017	100% CD
C-1.06	GFY SURVEY – THE PIER	0	11/01/2017	100% CD
C-1.07	GFY SURVEY – SPA BEACH	0	11/01/2017	100% CD
C-1.08	GFY SURVEY – THE LENS	0	11/01/2017	100% CD
C-2.00	SWPPP PHASE I	0	11/01/2017	100% CD
C-2.01	SWPPP PHASE II	0	11/01/2017	100% CD
C-2.02	SWPPP DETAILS	0	11/01/2017	100% CD
C-2.10	PAVEMENT PLAN	0	11/01/2017	VE PRICING ADDENDUM
C-3.00	MASTER KEY SITE PLAN	1	01/05/2018	VE PRICING ADDENDUM
C-3.01	DEMOLITION PLAN	1	01/05/2018	VE PRICING ADDENDUM
C-3.02	DEMOLITION PLAN	1	01/05/2018	VE PRICING ADDENDUM
C-3.03	DEMOLITION PLAN	1	01/05/2018	VE PRICING ADDENDUM
C-3.04	DEMOLITION PLAN	1	01/05/2018	VE PRICING ADDENDUM
C-3.05	DEMOLITION PLAN	1	01/05/2018	VE PRICING ADDENDUM
C-4.00	MASTER KEY GRADING PLAN	0	11/01/2017	100% CD
C-4.01	SITE PLAN	1	02/23/2018	Bidding Addendum 2
C-4.02	SITE PLAN	2	02/23/2018	Bidding Addendum 2
C-4.03	SITE PLAN	2	02/23/2018	Bidding Addendum 2
C-4.04	SITE PLAN	1	02/23/2018	Bidding Addendum 2
C-4.05	SITE PLAN	1	02/23/2018	Bidding Addendum 2
C-4.06	INTERSECTION PLAN	0	11/01/2017	100% CD
C-5.00	MASTER KEY GRADING PLAN	0	11/01/2017	100% CD
C-5.01	GRADING PLAN	2	02/23/2018	Bidding Addendum 2
C-5.02	GRADING PLAN	1	02/23/2018	Bidding Addendum 2

SECTION 3 – DOCUMENT LOG

C-5.03	GRADING PLAN	2	02/23/2018	Bidding Addendum 2
C-5.04	GRADING PLAN	2	02/23/2018	Bidding Addendum 2
C-5.05	GRADING PLAN	2	02/23/2018	Bidding Addendum 2
C-5.06	GRADING PLAN	2	02/23/2018	Bidding Addendum 2
C-5.10	STORM DRAINAGE SCHEDULE	1	02/23/2018	Bidding Addendum 2
C-5.11	STORM DRAINAGE DETAILS	1	02/23/2018	Bidding Addendum 2
C-5.12	CITY OF ST. PETE DRAINAGE DETAILS	1	02/23/2018	Bidding Addendum 2
C-5.13	CITY OF ST. PETE DRAINAGE DETAILS 2	1	02/23/2018	Bidding Addendum 2
C-6.00	MASTER KEY UTILITY PLAN	1	01/05/2018	VE PRICING ADDENDUM
C-6.01	UTILITY PLAN	2	02/23/2018	Bidding Addendum 2
C-6.02	UTILITY PLAN	2	02/23/2018	Bidding Addendum 2
C-6.03	UTILITY PLAN	2	02/23/2018	Bidding Addendum 2
C-6.04	UTILITY PLAN	2	02/23/2018	Bidding Addendum 2
C-6.05	UTILITY PLAN	2	02/23/2018	Bidding Addendum 2
C-7.00	CITY OF ST PETERSBURG DETAILS	1	01/05/2018	VE PRICING ADDENDUM
C-7.01	CITY OF ST PETERSBURG DETAILS	1	01/05/2018	VE PRICING ADDENDUM
L-0.01	SITE LANDSCAPE NOTES	1	01/05/2018	VE PRICING ADDENDUM
L-1.00	KEY PLAN - LAYOUT & MATERIAL PLAN	1	01/05/2018	VE PRICING ADDENDUM
L-1.10	KEY PLAN - LAYOUT & MATERIAL PLAN	2	02/23/2018	Bidding Addendum 2
L-1.20	KEY PLAN - LAYOUT & MATERIAL PLAN	2	02/23/2018	Bidding Addendum 2
L-1.30	KEY PLAN - LAYOUT & MATERIAL PLAN	2	02/23/2018	Bidding Addendum 2
L-1.40	KEY PLAN - LAYOUT & MATERIAL PLAN	2	02/23/2018	Bidding Addendum 2
L-1.50	KEY PLAN - LAYOUT & MATERIAL PLAN	2	02/23/2018	Bidding Addendum 2
TM-1.00	TREE MITIGATION INDEX	1	01/05/2018	VE PRICING ADDENDUM
TM-1.01	TREE MITIGATION PLAN	1	01/05/2018	VE PRICING ADDENDUM
TM-1.02	TREE MITIGATION PLAN	0	11/01/2017	100% CD
TM-1.03	TREE MITIGATION PLAN	1	01/05/2018	VE PRICING ADDENDUM
TM-1.04	TREE MITIGATION PLAN	1	01/05/2018	VE PRICING ADDENDUM
TM-1.05	TREE MITIGATION PLAN	1	01/05/2018	VE PRICING ADDENDUM
TM-1.06	TREE MITIGATION PLAN	1	01/05/2018	VE PRICING ADDENDUM
TM-1.07	TREE MITIGATION PLAN	1	01/05/2018	VE PRICING ADDENDUM
L-2.00	LANDSCAPE INDEX PLAN	1	01/05/2018	VE PRICING ADDENDUM
L-2.01.0	LANDSCAPE PLAN-TREE LAYOUT	1	01/05/2018	VE PRICING ADDENDUM
L-2.01.1	LANDSCAPE PLAN – UNDERSTORY	1	01/05/2018	VE PRICING ADDENDUM
L-2.02.0	LANDSCAPE PLAN- TREE LAYOUT	1	01/05/2018	VE PRICING ADDENDUM
L-2.02.1	LANDSCAPE PLAN-UNDERSTORY	1	01/05/2018	VE PRICING ADDENDUM
L-2.03.0	LANDSCAPE PLAN –TREE LAYOUT	1	01/05/2018	VE PRICING ADDENDUM
L-2.03.1	LANDSCAPE PLAN – UNDERSTORY	1	01/05/2018	VE PRICING ADDENDUM
L-2.04.0	LANDSCAPE PLAN- TREE LAYOUT	1	01/05/2018	VE PRICING ADDENDUM
L-2.04.1	LANDSCAPE PLAN – UNDERSTORY	1	01/05/2018	VE PRICING ADDENDUM

SECTION 3 – DOCUMENT LOG

L-2.05.0	LANDSCAPE PLAN- TREE LAYOUT	1	01/05/2018	VE PRICING ADDENDUM
L-2.05.1	LANDSCAPE PLAN – UNDERSTORY	1	01/05/2018	VE PRICING ADDENDUM
L-2.06	LANDSCAPE SCHEDULE	1	01/05/2018	VE PRICING ADDENDUM
L-2.50	LANDSCAPE NOTES	1	01/05/2018	VE PRICING ADDENDUM
L-2.51	LANDSCAPE DETAILS	1	01/05/2018	VE PRICING ADDENDUM
L-3.00	KEY PLAN-CONCRETE LAYOUT PLAN	1	01/05/2018	VE PRICING ADDENDUM
L-3.10	CONCRETE LAYOUT PLAN	1	01/05/2018	VE PRICING ADDENDUM
L-3.20	CONCRETE LAYOUT PLAN	1	01/05/2018	VE PRICING ADDENDUM
L-3.30	CONCRETE LAYOUT PLAN	1	01/05/2018	VE PRICING ADDENDUM
L-3.40	CONCRETE LAYOUT PLAN	1	01/05/2018	VE PRICING ADDENDUM
L-3.50	CONCRETE LAYOUT PLAN	1	01/05/2018	VE PRICING ADDENDUM
L-4.00	SITE SECTIONS	1	01/05/2018	VE PRICING ADDENDUM
L-5.20	KEY PLAN –FURNITURE PLAN	1	01/05/2018	VE PRICING ADDENDUM
L-5.21	FURNITURE PLAN	1	01/05/2018	VE PRICING ADDENDUM
L-5.22	FURNITURE PLAN	1	01/05/2018	VE PRICING ADDENDUM
L-5.23	FURNITURE PLAN	1	01/05/2018	VE PRICING ADDENDUM
L-5.24	FURNITURE PLAN	1	01/05/2018	VE PRICING ADDENDUM
L-5.25	FURNITURE PLAN	1	01/05/2018	VE PRICING ADDENDUM
	ENLARGEMENT PLAN-THE LINK	1	01/05/2018	VE PRICING ADDENDUM
L-6.00	NORTH			
	ENLARGEMENT PLAN-THE LINK	1	01/05/2018	VE PRICING ADDENDUM
L-6.10	SOUTH			
L-6.20	ENLARGEMENT PLAN-GARDEN	1	01/05/2018	VE PRICING ADDENDUM
	ENLARGEMENT PLAN-	1	01/05/2018	VE PRICING ADDENDUM
L-6.21	PLAYGROUND			
	ENLARGEMENT PLAN-VIEW EDGE &	1	01/05/2018	VE PRICING ADDENDUM
L-6.30	TREE RING PRECAST			
	ELEVATIONS- VIEW EDGE & TREE	1	01/05/2018	VE PRICING ADDENDUM
L-6.31	RING PRECAST			
L-6.40	ENLARGEMENT PLAN – OVERLOOK	1	01/05/2018	VE PRICING ADDENDUM
	OVERLOOK –SECTIONS +	1	01/05/2018	VE PRICING ADDENDUM
L-6.50	ELEVATIONS			
L-6.60	SUNDECK+BRIDGE-ENLARGEMENT PLAN	1	01/05/2018	VE PRICING ADDENDUM
L-6.61	BRIDGE ENLARGEMENT PLAN	1	01/05/2018	VE PRICING ADDENDUM
L-6.62	WETPOND BRIDGE ENLARGEMENT PLAN	1	01/05/2018	VE PRICING ADDENDUM
	ENLARGEMENT PLAN-TRASH	1	01/05/2018	VE PRICING ADDENDUM
L-6.70	ENCLOSURE			
L-7.00	TYPICAL SITE PAVEMENT DETAILS	1	01/05/2018	VE PRICING ADDENDUM
	TYPICAL CAST IN PLACE STAIR	1	01/05/2018	VE PRICING ADDENDUM
L-7.10	DETAILS			
	TYPICAL CAST IN PLACE STAIR	1	01/05/2018	VE PRICING ADDENDUM
L-7.11	DETAILS			
L-7.12	TYPICAL PRECAST DETAILS	1	01/05/2018	VE PRICING ADDENDUM
L-7.20	TYPICAL OVERLOOK DETAILS	1	01/05/2018	VE PRICING ADDENDUM
	TYPICAL SUN DECK+REMOVABLE	1	01/05/2018	VE PRICING ADDENDUM
L-7.21	TREE PIT DETAILS			
L-7.30	TYPICAL FURNITURE DETAILS	0	11/01/2017	100% CD
I-2.00	IRRIGATION INDEX PLAN	1	01/05/2018	VE PRICING ADDENDUM

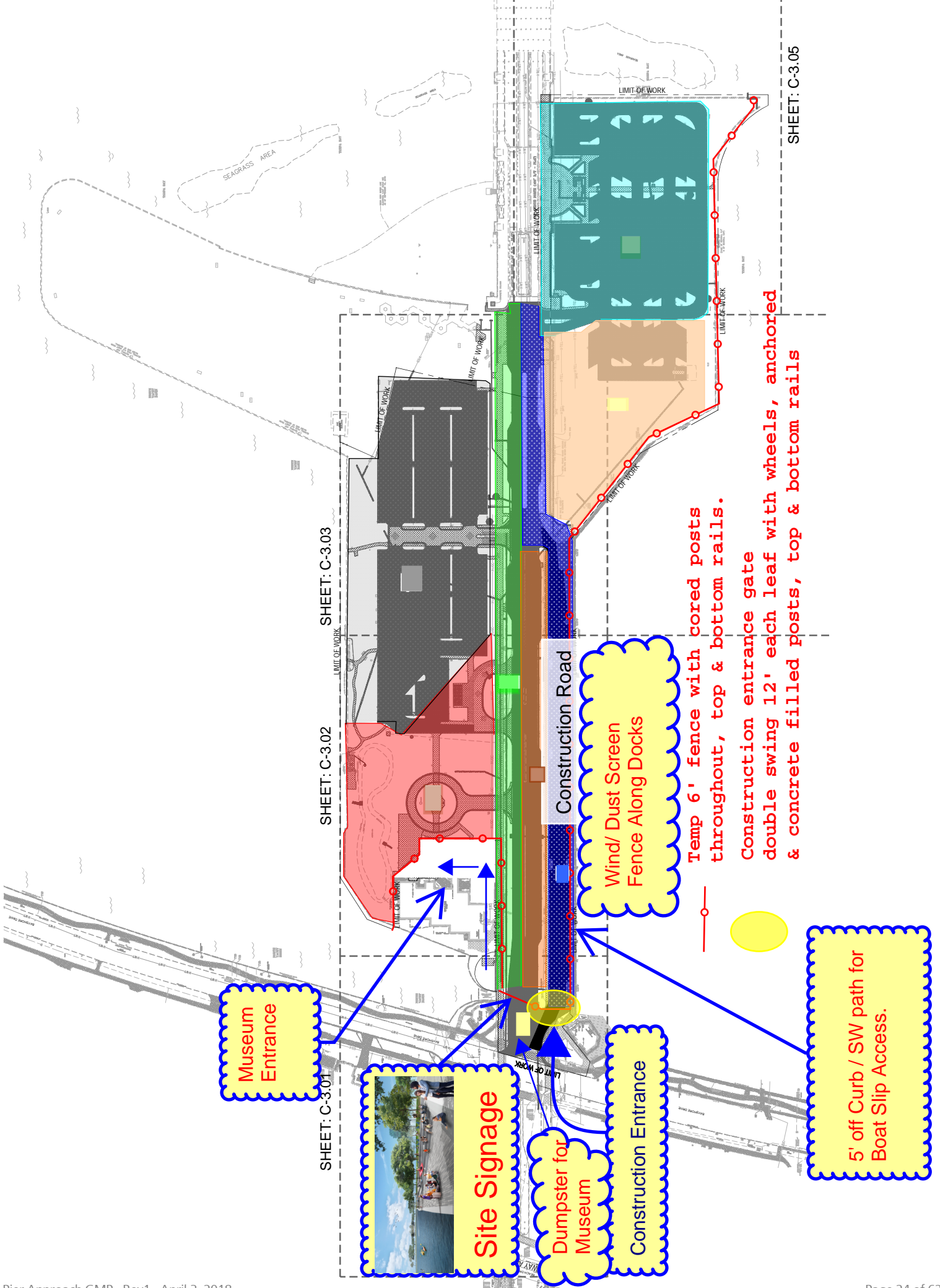
SECTION 3 – DOCUMENT LOG

I-2.01	IRRIGATION PLAN	1	01/05/2018	VE PRICING ADDENDUM
I-2.02	IRRIGATION PLAN	1	01/05/2018	VE PRICING ADDENDUM
I-2.03	IRRIGATION PLAN	1	01/05/2018	VE PRICING ADDENDUM
I-2.04	IRRIGATION PLAN	1	01/05/2018	VE PRICING ADDENDUM
I-2.05	IRRIGATION PLAN	1	01/05/2018	VE PRICING ADDENDUM
I-2.50	IRRIGATION NOTES	1	01/05/2018	VE PRICING ADDENDUM
	DRAWING LEGEND, BUILDING			
A-0.1	DATA AND INDEX	0	11/01/2017	100%CD
A-1.10	MARKET PROMENADE SITE PLAN	0	11/01/2017	100%CD
A-2.10	SHADESTRUCTURE PLANS	0	11/01/2017	100%CD
A-2.20	MARKET STALLS & BENCHES	0	11/01/2017	100%CD
A-3.0	SHADE STRUCTURE ELEVATIONS	0	11/01/2017	100%CD
A-3.1	SHADE STRUCTURE SECTIONS	0	11/01/2017	100%CD
	MARKET SHADE STRUCTURE SOLAR			
A-3.10	STUDY	0	11/01/2017	100%CD
	MARKET PROMENADE AND			
A-3.20	MARKET STALL PRESPECTIVES	0	11/01/2017	100%CD
A-4.1	COLUMN SET OUT	0	11/01/2017	100%CD
A-4.2	PV RAIL SET OUT	0	11/01/2017	100%CD
A-4.3	PV PANELSET OUT	0	11/01/2017	100%CD
	ABBREVIATIONS AND DRAWING			
S-0.01	LIST	0	11/01/2017	100%CD
S-0.02	GENERAL NOTES	0	11/01/2017	100%CD
	KEY PERSPECTIVE AND			
S-1.01	FOUNDATION PLAN	2	02/23/2018	Bidding Addendum 2
S-1.02	CANOPY ROOF PLAN	2	02/23/2018	Bidding Addendum 2
S-2.00	ELEVATIONS	0	11/01/2017	100%CD
L-5.00	SITE LIGHTING PLAN	1	01/05/2018	VE PRICING ADDENDUM
L-5.01	LIGHTING CALCULATION PLAN	0	11/01/2017	100%CD
L-5.02	L POLE SCHEDULE	1	01/05/2018	VE PRICING ADDENDUM
L-5.03	L LUMINAIRE SCHEDULE	1	01/05/2018	VE PRICING ADDENDUM
L-5.10	L LIGHTING DETAILS	0	11/01/2017	100%CD
L-5.11	L-LIGHTING DETAILS	0	11/01/2017	100%CD
L-5.12	L CATENARY LIGHTING DETAILS	1	01/05/2018	VE PRICING ADDENDUM
E-0.00	ELECTRICAL LEGEND	0	01/05/2018	
E-1.00	OVERALL SITE PLAN-ELECTRICAL	1	01/05/2018	VE PRICING ADDENDUM
	ENLARGED SITE PLAN-ELECTRICAL			
E-1.10	DEMOLITION	1	01/05/2018	VE PRICING ADDENDUM
	ENLARGED SITE PLAN-ELECTRICAL			
E-1.20	DEMOLITION	1	01/05/2018	VE PRICING ADDENDUM
	ENLARGED SITE PLAN-ELECTRICAL			
E-1.30	DEMOLITION	1	01/05/2018	VE PRICING ADDENDUM
	ENLARGED SITE PLAN-ELECTRICAL			
E-1.40	DEMOLITION	0	11/01/2017	100%CD
	ENLARGED SITE PLAN-ELECTRICAL			
E-1.50	DEMOLITION	0	11/01/2017	100%CD
E-2.10	ENLARGED SITE PLAN-ELECTRICAL	1	01/05/2018	VE PRICING ADDENDUM

SECTION 3 – DOCUMENT LOG

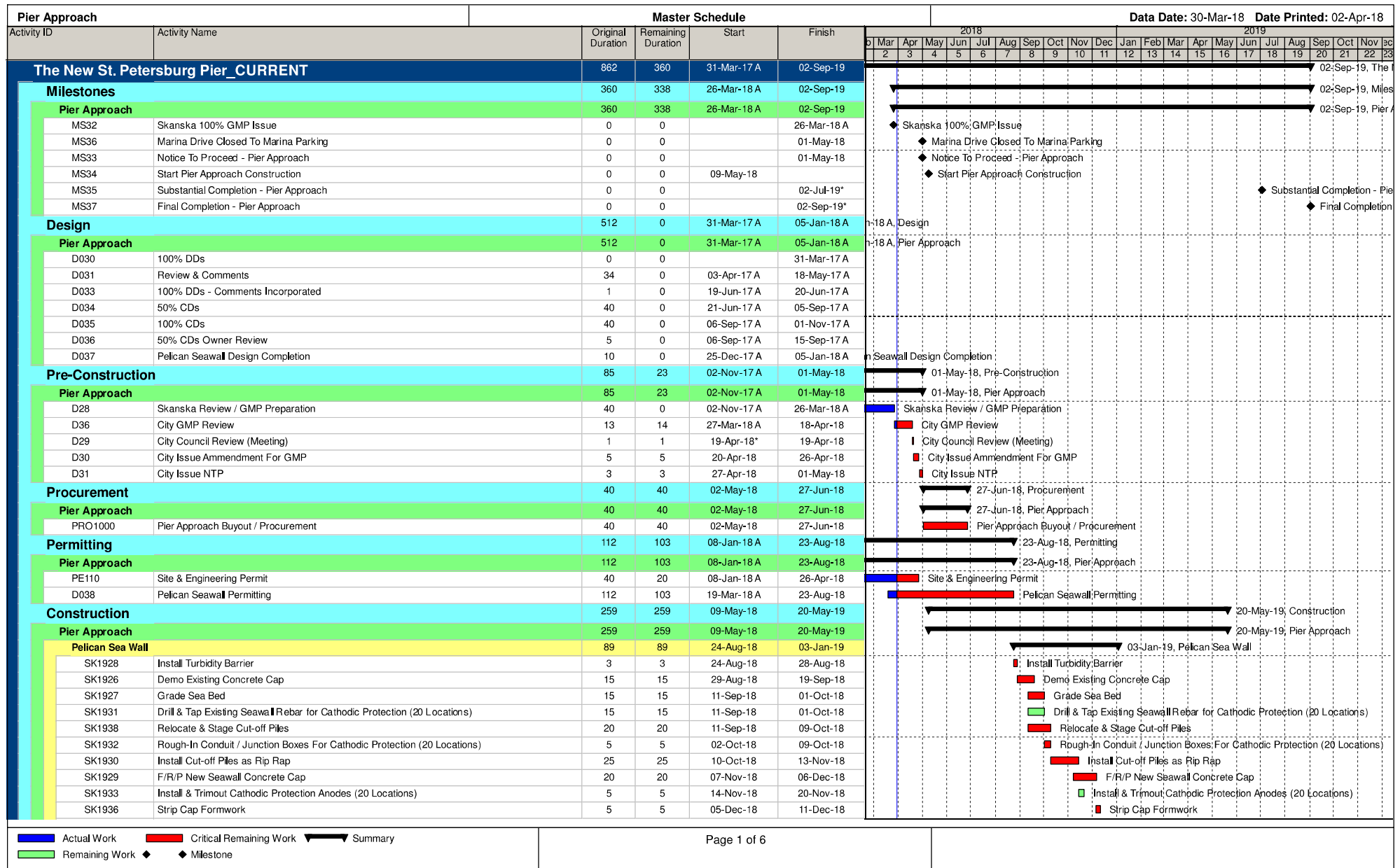
	RENOVATION			
E-2.20	ENLARGED SITE PLAN-ELECTRICAL	1	01/05/2018	VE PRICING ADDENDUM
	RENOVATION			
E-2.30	ENLARGED SITE PLAN-ELECTRICAL	1	01/05/2018	VE PRICING ADDENDUM
	RENOVATION			
E-2.40	ENLARGED SITE PLAN-ELECTRICAL	1	01/05/2018	VE PRICING ADDENDUM
	RENOVATION			
E-2.50	ENLARGED SITE PLAN-ELECTRICAL	1	01/05/2018	VE PRICING ADDENDUM
	RENOVATION			
E-3.01	POWER RISER DIAGRAM & PANEL	0	11/01/2017	100%CD
	SCHEDULES			
E-3.02	POWER RISER DIAGRAM & PANEL	1		VE PRICING ADDENDUM
	SCHEDULES			
E-3.03	POWER RISER DIAGRAM & PANEL	0	11/01/2017	100%CD
	SCHEDULES			
E-3.04	POWER RISER DIAGRAM & PANEL	0	11/01/2017	100%CD
	SCHEDULES			
E-3.05	POWER RISER DIAGRAM & PANEL	0	11/01/2017	100%CD
	SCHEDULES			
E-4.00	MARKET STRUCTURE PV ARRAY	0	11/01/2017	100%CD
ASD/SKY 2nd Avenue Connection Site Plan (for Storm Water work only)				
C-4	SITE PLAN	0	11/17/2017	2 ND AVENUE CONNECTION
C-10	DRAINAGE PLAN	0	11/03/2017	2 ND AVENUE CONNECTION
Proposed Utility Color Map				
EX-2	Proposed Utility Color Map	2	02/23/2018	Bidding Addendum 2
2ND Avenue NE Seawall Inspection and Repair Preliminary Plans				
17097-01	COVER SHEET & INDEX	0	01/05/2018	2 ND Avenue NE Seawall
17097-02	GENERAL NOTES	0	01/05/2018	2 ND Avenue NE Seawall
17097-03	PLAN & SECTIONS	0	01/05/2018	2 ND Avenue NE Seawall
17097-04	WALL DETAILS(1)	0	01/05/2018	2 ND Avenue NE Seawall
17097-05	WALL DETAILS (2)	0	01/05/2018	2 ND Avenue NE Seawall
17097-06	GROUT INJECTION DETAILS	0	01/05/2018	2 ND Avenue NE Seawall
17097-07	CATHODIC PROTECTION DETAILS(1)	0	01/05/2018	2 ND Avenue NE Seawall
17097-08	CATHODIC PROTECTION DETAILS(2)	0	01/05/2018	2 ND Avenue NE Seawall
17097-09	CATHODIC PROTECTION DETAILS(3)	0	01/05/2018	2 ND Avenue NE Seawall

4 Site Logistics Plan

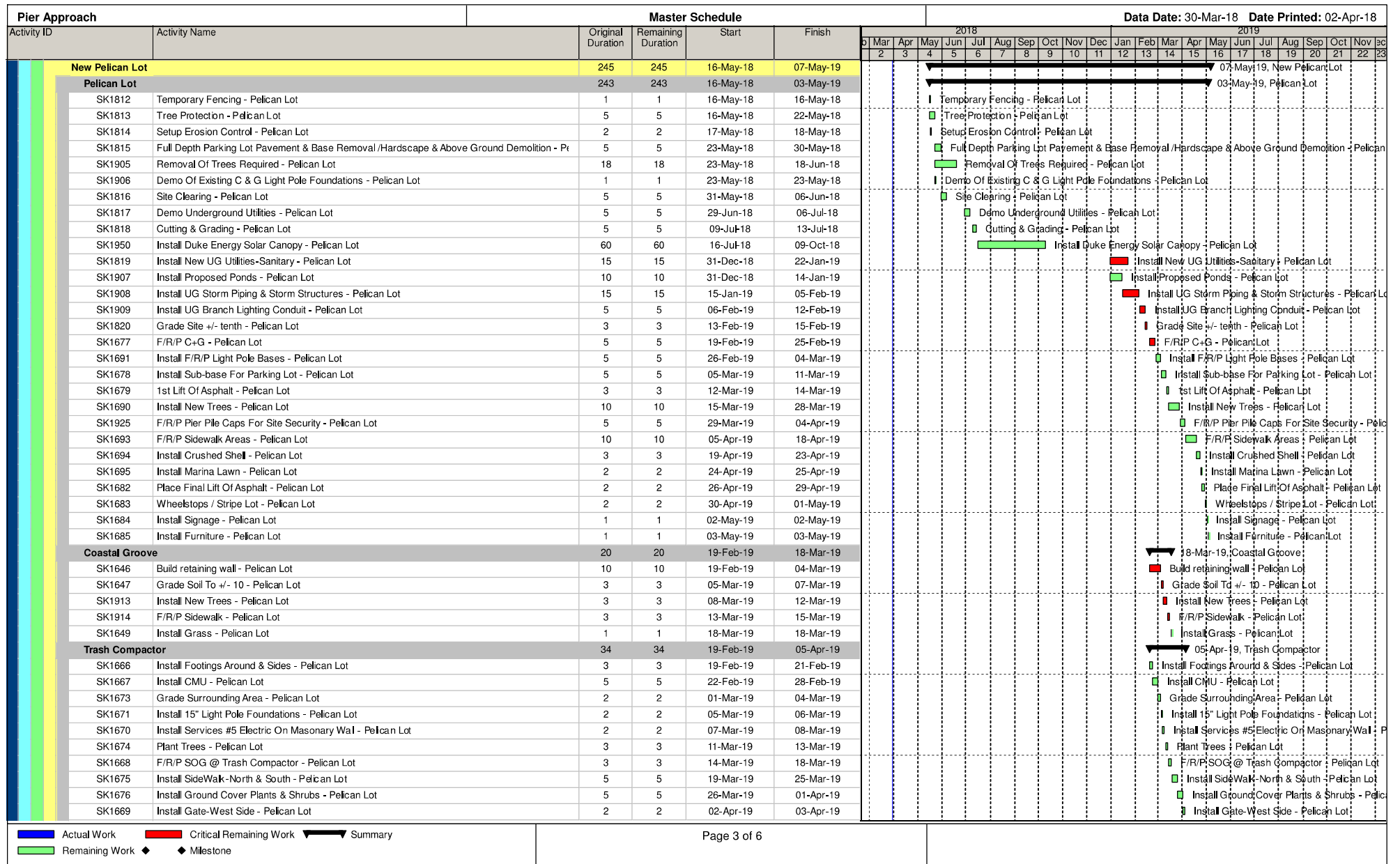


SHEET: C-3.05

5 Project Schedule



Pier Approach		Master Schedule					Data Date: 30-Mar-18 Date Printed: 02-Apr-18																																
Activity ID	Activity Name	Original Duration	Remaining Duration	Start	Finish																																		
						2018																																	
						Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	2019												Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec
						2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31				
	SK1937	Backfill & Grading Along Seawall Cap	2	2	12-Dec-18	13-Dec-18																																	
	SK1934	Layout For Grout Injection Locations	1	1	14-Dec-18	14-Dec-18																																	
	SK1935	Inject Grout to -8 From Grade	10	10	17-Dec-18	31-Dec-18																																	
	SK1939	Remove Turbidity Barrier / Seawall Completion	2	2	02-Jan-19	03-Jan-19																																	
	New Dolphin Lot at Museum of History		93	93	09-May-18	19-Sep-18																																	
	SK1857	Temporary Fencing - Dolphin Lot	3	3	09-May-18	11-May-18																																	
	SK1858	Tree Protection - Dolphin Lot	5	5	09-May-18	15-May-18																																	
	SK1859	Setup Erosion Control - Dolphin Lot	3	3	14-May-18	16-May-18																																	
	SK1861	Site Clearing - Dolphin Lot	3	3	17-May-18	21-May-18																																	
	SK1862	Demo Underground Utilities - Dolphin Lot	10	10	22-May-18	05-Jun-18																																	
	SK1864	Install New UG Utilities - Dolphin Lot	15	15	30-May-18	19-Jun-18																																	
	SK1863	Cutting & Grading Including Dry Pond At Northwest Corner - Dolphin Lot	5	5	30-May-18	05-Jun-18																																	
	SK1865	Grade Site +/- tenth - Dolphin Lot	4	4	20-Jun-18	25-Jun-18																																	
	SK1724	F/R/P C+G - Dolphin Lot	10	10	26-Jun-18	10-Jul-18																																	
	SK1734	Install F/R/P Light Pole Bases - Dolphin Lot	3	3	11-Jul-18	13-Jul-18																																	
	SK1727	Install Stone Base For Parking Lot - Dolphin Lot	5	5	16-Jul-18	20-Jul-18																																	
	SK1778	Install 1st Lift Of Asphalt - Dolphin Lot	5	5	23-Jul-18	27-Jul-18																																	
	SK1728	Install Irrigation @ Islands & SoftScape Areas - Dolphin Lot	10	10	30-Jul-18	10-Aug-18																																	
	SK1742	Electrical Poles & Trim Out - Dolphin Lot	5	5	30-Jul-18	03-Aug-18																																	
	SK1729	Install Trees - Dolphin Lot	3	3	13-Aug-18	15-Aug-18																																	
	SK1725	Install CIP Stairs + Rail @ NorthEast Corner Of Lot - Dolphin Lot	5	5	16-Aug-18	22-Aug-18																																	
	SK1731	F/R/P 8" Concrete SOG South Tram Pathway - Dolphin Lot	7	7	16-Aug-18	24-Aug-18																																	
	SK1730	Install Lawn/Shrubs & Crushed Shell - Dolphin Lot	10	10	23-Aug-18	06-Sep-18																																	
	SK1732	Install Final Coat Of Asphalt - Dolphin Lot	5	5	07-Sep-18	13-Sep-18																																	
	SK1733	Stripe Parking Lot - Dolphin Lot	3	3	14-Sep-18	18-Sep-18																																	
	SK1735	Install Regulatory Signage - Dolphin Lot	1	1	19-Sep-18	19-Sep-18																																	
	Market Promenade		189	189	14-May-18	13-Feb-19																																	
	SK1794	Temporary Fencing - Market Promenade	2	2	14-May-18	15-May-18																																	



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Pier Approach		Master Schedule					Data Date: 30-Mar-18 Date Printed: 02-Apr-18																																	
Activity ID	Activity Name	Original Duration	Remaining Duration	Start	Finish	<div><div>2018</div><div>2019</div></div>																																		
						6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	1	2	3	4	5	6	7		
	SK1772 Build Bridges & The Sun Deck - Family Park	15	15	24-Jan-19	13-Feb-19																																			
	SK1767 Install Ground Cover Shrubs & Plants & Bio Swale Plantings - Family Park	10	10	14-Feb-19	28-Feb-19																																			
	SK1823 Install Railings - Family Park	3	3	14-Feb-19	19-Feb-19																																			
	SK1824 Install Lawn Planting & Grassing - Family Park	3	3	01-Mar-19	05-Mar-19																																			
	SK1768 F/R/P 8" Concrete Tram Road South Of Kid Park - Family Park	5	5	06-Mar-19	12-Mar-19																																			
	SK1825 Install Light Poles & Trim Out Electrical Up Lights & Power - Family Park	5	5	06-Mar-19	12-Mar-19																																			
	SK1826 Install Furniture / Signage - Family Park	50	50	12-Mar-19	20-May-19																																			
	SK1821 Install Precast Foundations Under All Precast - Family Park	15	15	13-Mar-19	02-Apr-19																																			
	SK1773 Install Precast Concrete @ View Edge/Picnic Grove/Lawn/Wet Pond & Park Areas North - Farr	15	15	27-Mar-19	16-Apr-19																																			
	SK1774 F/R/P 6" Concrete SOG West & North - Family Park	5	5	17-Apr-19	23-Apr-19																																			
	SK1775 F/R/P 8" Concrete SOG East To Spa Beach - Family Park	5	5	24-Apr-19	30-Apr-19																																			
	SK1822 F/R/P 6" Concrete SOG North To South - Family Park	5	5	01-May-19	07-May-19																																			
	SK1699 Install Florida Cap Rocks - Family Park	2	2	08-May-19	09-May-19																																			
	SK1827 Area Complete - Family Park	0	0	20-May-19	20-May-19																																			
New Marina Drive		223	223	22-May-18	11-Apr-19																																			
	SK1803 Temporary Fencing - Marina Drive	2	2	22-May-18	23-May-18																																			
	SK1804 Tree Protection - Marina Drive	1	1	22-May-18	22-May-18																																			
	SK1900 Removal Of Trees Required - Marina Drive	3	3	23-May-18	25-May-18																																			
	SK1805 Setup Erosion Control - Marina Drive	1	1	24-May-18	24-May-18																																			
	SK1806 Hardscape & Above Ground Demolition - Marina Drive	2	2	25-May-18	29-May-18																																			
	SK1807 Site Clearing - Marina Drive	1	1	30-May-18	30-May-18																																			
	SK1893 Removal Of All Existing Pole Mounted Light Poles - Marina Drive	2	2	31-May-18	01-Jun-18																																			
	SK1808 Demo Underground Utilities - Marina Drive	2	2	23-Jul-18	24-Jul-18																																			
	SK1809 Cutting & Grading - Marina Drive	2	2	25-Jul-18	26-Jul-18																																			
	SK1887 Install UG Storm Sewer - Marina Drive	5	5	27-Jul-18	02-Aug-18																																			
	SK1810 Install New UG Sanitary - Marina Drive	2	2	23-Jan-19	24-Jan-19																																			
	SK1879 Install UG Domestic Water (By City) - Marina Drive	5	5	25-Jan-19	31-Jan-19																																			
	SK1811 Grade Site +/- tenth - Marina Drive	2	2	01-Feb-19	04-Feb-19																																			
	SK1888 Demo For New Handicap Ramps - Marina Drive	5	5	05-Feb-19	11-Feb-19																																			
	SK1897 Mill Existing Asphalt Surface - Marina Drive	4	4	13-Mar-19	18-Mar-19																																			
	SK1889 F/R/P New Handicap Ramps - Marina Drive	4	4	19-Mar-19	22-Mar-19																																			
	SK1741 Install New C&G To Tie To Existing Approaching Bayshore/Dolphin Lot/Pelican Lot - Marina Drive	6	6	25-Mar-19	01-Apr-19																																			
	SK1743 Patch Asphalt At New Curb & Utility Cuts - Marina Drive	2	2	02-Apr-19	03-Apr-19																																			
	SK1744 Install Wearcourse Asphalt - Marina Drive	2	2	04-Apr-19	05-Apr-19																																			
	SK1745 Stripe Roadway & Crosswalk - Marina Drive	2	2	08-Apr-19	09-Apr-19																																			
	SK1902 Install Cabbage Palmettos & Chinese Star Jasmine & One Jacaranda - Marina Drive	2	2	08-Apr-19	09-Apr-19																																			
	SK1898 Install Regulatory Signs - Marina Drive	1	1	10-Apr-19	10-Apr-19																																			
	SK1899 Install Furniture - Marina Drive	1	1	11-Apr-19	11-Apr-19																																			
	SK1901 Area Complete - Marina Drive	0	0	11-Apr-19	11-Apr-19																																			
Project Closeout		73	73	21-May-19	02-Sep-19																																			
Pier Approach		73	73	21-May-19	02-Sep-19																																			
	PCL-107 Punch / Clean	20	20	21-May-19	18-Jun-19																																			
	PCL-108 Inspections / Certifications	10	10	19-Jun-19	02-Jul-19																																			
	PCL-109 Substantial Completion	0	0		02-Jul-19																																			
	PCL-110 Final Punch	42	42	03-Jul-19	30-Aug-19																																			
	PCL-113 Operation & Staff Training	42	42	03-Jul-19	30-Aug-19																																			

Actual Work

Remaining Work

Critical Remaining Work

Milestone

Summary

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